



VILLAGE OF KIMBERLY, WI
NOTICE OF VILLAGE PLAN COMMISSION MEETING

DATE: Tuesday, August 20, 2024
TIME: 6:00 pm
LOCATION: Village Hall, Rick J. Hermus Council Chambers
515 W. Kimberly Ave.
Kimberly, WI 54136

Notice is hereby given that a Plan Commission meeting will be held on Tuesday, August 20, 2024, at the Village Hall. This meeting is open to the public.

- 1) Call to Order
- 2) Roll Call
- 3) Moment of Silent Reflection, Pledge of Allegiance
- 4) Approval of Minutes from the 07/16/2024 Meeting
- 5) Unfinished Business
 - a) None
- 6) New Business for Consideration and Approval
 - a) Site Review – Cheeky Doughnuts. Site plan for bakery/donut shop located at 710 W. Kimberly Avenue.
 - b) Site Review – AllState Insurance. Site plan for commercial business space located at 1023 Truman Street.
 - c) Architectural Review, Blue at the Trail: Single Family Ranch and Two-Unit, 2 Story Home.
 - d) Review and set Plan Commission Meeting time.
- 7) Adjournment

Plan Commission

Aug 20, 2024, 6:00 – 6:30 PM (America/Chicago)

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/585352221>

You can also dial in using your phone.

Access Code: 585-352-221

United States (Toll Free): [1 877 309 2073](tel:18773092073)

United States: [+1 \(646\) 749-3129](tel:+16467493129)

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**VILLAGE OF KIMBERLY
PLAN COMMISSION MINUTES
07/16/2024**

A meeting of the Village Kimberly Plan Commission was called to order on Tuesday, July 16, 2024 at 6:00pm in the Rick J. Hermus Council Chambers, 515 W. Kimberly Ave by President Chuck Kuen.

Commissioners Present: President Chuck Kuen, Commissioners: Norb Karner, Todd Schneider and Dean Schiesl
Commissioners Excused: Commissioners: Jeremy Freund and Dave Vander Velden
Staff Present: Deputy Clerk Erica Ziegert, Administrator/Public Works Director Danielle Block and Deputy Director of Public Works/Zoning Administrator Greg Ulman

Approval of Minutes from the 04-16-2024 and 05-06-2024 Meetings

Commissioner Karner moved, Commissioner Schiesl seconded the motion to approve the minutes from the 04-16-2024 and 05-06-2024 Plan Commission meetings. Motion carried by unanimous vote.

Unfinished Business

None

New Business

Certified Survey Map, 424 S Washington St, Parcel 250172700

Commissioner Karner moved, Commissioner Schneider seconded the motion to approve the Certified Survey Map for 424 S Washington St, Parcel 250172700. The resulting CSM creates two parcels so the existing warehouse building and majority of the parking lot would be on Lot 2, while the existing former convenience store and a section of the parking lot would be in Lot 1. There was no discussion on this item. Motion carried by unanimous vote.

Adjournment

Commissioner Schneider moved, Commissioner Karner seconded the motion to adjourn. Motion carried by unanimous vote at 6:01pm.

Erica Ziegert
Deputy Clerk
Dated 07/17/2024



Village of Kimberly Request for Plan Commission Recommendation

ITEM DESCRIPTION: Site Review – Existing Commercial Building, 710 W Kimberly Avenue

REPORT PREPARED BY: Danielle Block

REPORT DATE: August 13, 2024

EXPLANATION: Kim Thiel, dba Cheeky Doughnuts, seeks Site Review approval for the remodeling of a commercial building at 710 W Kimberly Avenue. The parcel is zone B1-Business General. Bakery, retail is a permitted use.

Attached to this staff report include:

1. Site Plan Review application and responses.
2. Project Description.
3. Plan Drawings.

Scope of Construction – Reference Project Description and Plans for additional insight.

1. Remodel an approximately 836 sf commercial space upper and lower.
2. Bakery retail counter, baking and drive thru lane.
3. No expansion of building size.
4. No expansion of signage, future sign permit required.
5. No parking lot improvements.
6. No lighting modifications.
7. No major landscape modifications.

The staff zoning review identified the proposed project complies with applicable ordinances.

Staff has completed a review of the site for compliance with Kimberly Municipal Code the proposed project meets the code and notes the following:

1. **Signage.** Owner indicates future modification to the façade of the sign. Sign permit required at that time.
2. **Building Permits.** Separate application for building permits required and has been initiated. Building permit application indicates modifications/remodel to the basement level.

RECOMMENDED ACTION: Staff recommends approval of the submitted plans.



Submit to:
 Planning & Zoning
 515 W. Kimberly Ave.
 Kimberly WI 54136
 920-788-7500

VILLAGE OF KIMBERLY Site Review
 Application

Applicant Information

Petitioner: Kim Thiel dba Cheeky Doughnuts Date: 08-07-24
 Petitioner Address: 3608 E Lexington Dr City: Appleton State: WI Zip: 54915
 Telephone #: (920)850-1183 Fax: () email: cheekydoughnuts@gmail.com
 Status of Petitioner (please check one): Owner Representative Tenant Prospective Buyer

Petitioner's Signature (required):

Owner Information

Owner(s): Kim Thiel Date: 08-07-24
 Owner(s) Address: 3608 E Lexington Dr City: Appleton State: WI Zip: 54915
 Telephone #: (920)850-1183 Fax: () email: cheekydoughnuts@gmail.com
 Ownership Status (please check one): Individual Trust Partnership Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: _____ Date: _____

Site Information

Address/Location of Proposed Project: 710 W Kimberly Ave, Kimberly, WI 54136

Zoning: commercial Proposed Project or Use: bakery

Current or last Use of Property: bakery

Land Uses Surrounding this Address: North: _____residential_____

South: _____residential_____

East: _____vacant lot (formerly car wash bays)_____

West: _____gas station_____

It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.

Application Fees must be submitted with the application.

Submittal Requirements – Must accompany the application to be complete. (PLEASE REFERENCE BELOW)

Cheeky Doughnuts / Kim Thiel

710 W Kimberly Ave.

Kimberly, WI 54136

920-850-1182

Proposed use of the property:

I plan to operate a made-to-order doughnut shop offering sit-down and drive thru service.

Existing use of the property:

The building was operating as a doughnut shop for the past 16 years.

Effects on adjoining properties to include: noise, hours of operation, glare, odor, fumes, vibration, etc:

I will be making doughnuts on the existing equipment the previous owners were working with. There should be minimal, if any, change in operation as far as noise, hours, glare, odor, fumes and vibration. Hours of operation will be Friday-Sunday 7am-2pm or until I'm sold out. Once established those hours may extend to be open more days of the week or special doughnuts tastings in the evenings, tentatively between the hours of 5:00-9:00pm

Compatibility of the proposed use with adjacent and other properties in the area:

No change from the previous owners.

Traffic generation:

I would guess similar to the previous owners with an increase in drive thru traffic as I plan to have an online order ahead option.

Any other information pertinent to adequate understanding of the intended use and its relation to nearby properties:

None that I can think of.

Two (2) legible scaled and dimensioned drawings/prints of site plan and building elevations (when applicable.)

Please see attached image for the most up-to-date building plans. An engineer confirmed the existing front wall is not a load bearing wall and the work we're doing is mostly cosmetic.

Two (2) 8 ½" x 11 (minimum) to 11" x 17" (maximum) reduction of the site plan and building elevations (when applicable.)

n/a

All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, walls.

I do not plan to make changes beyond painting the red and tan vinyl siding and monument sign to black. I hope to seal and restripe the parking lot next spring, the asphalt company is booking into Spring 2025 at this time.

Location of all outdoor storage and refuse disposal areas and the design and materials used for construction:

I plan to have garbage and recycle bins at the same location the existing bakery had then; behind the building in the north-east corner of the lot.

Location and dimension of all on-site parking (and off-site parking provisions if they are to be employed):

There are 8 parking stalls to the east of the building with two employee stalls at the north-west corner of the lot. Employees will park on the side streets where public parking is available.

Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan:

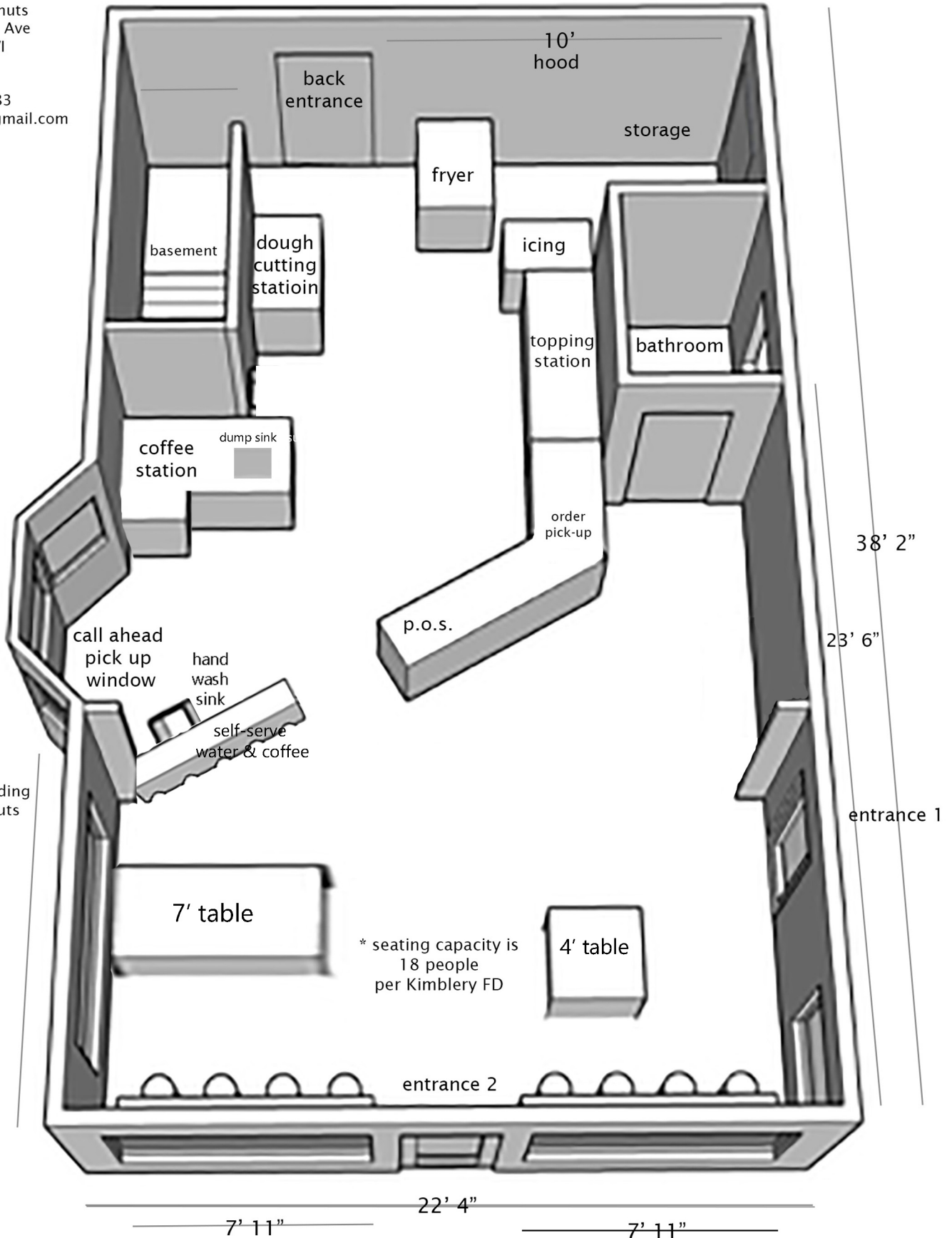
No changes from previous business.

Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generators.

Air exchange unit and hood vent are behind the building, a small air conditioning unit sits at the northeast side along the building, drive-thru info sign sits at the northeast side of building. None of the items will change location from the previously operating business.

Cheeky Doughnuts
710 W Kimberly Ave
Kimberly, WI

Kim Thiel
920-850-1183
cheekydoughnuts@gmail.com



basement is about 22' 7" x 26' 8" from north end of building and ends at wall jut-outs near 'seating'

**Village of Kimberly
Site Plan / Zoning Review**

Location of Property: 710 W Kimberly Ave Date(s) Rec'd: 08/07/2024

Applicant Name: Kim Thiel dba Cheeky Doughnuts Phone: 9202-850-1183 Fax:

Applicant Address: 3608 Lexington Dr. City: Appleton State:
WI Zip: 54915

Owner: Kim Thiel Parcel Number(s): 250095109 Zoning: B1 – Business General

Scope of Proposal: 1,280 sf Office Building and 2,016 sf Garage

Compliance Checklist: A=Approved N=Not Approved NA= Not Applicable

Use -A	Height - A	Access Regulations - A	Landscaping -NA
Lot Width - A	Front Setback - A	Parking Standards - A	Lighting - NA
Lot Depth - A	Corner-Side Setback - NA	Loading Standards - A	Signage - NA
Lot Area -A	Interior-Side Setback -A	Vision Clearance - A	Mechanical Screening-NA
Floodplain -NA	Rear Setback - A	Trans. Yard Stnds - NA	Var./CUP/PD Conditions
Storm Water -NA	Building Area - NA	Refuse Screening - NA	Other:

Comments/Conditions

The use, setbacks, parking, and lighting satisfy zoning ordinance requirements, and the site design is consistent with the adjacent properties.

The site does not modify existing impervious surfaces. Site plan does not modify exterior architecture.

Review Fee: \$0

*****REVIEW FEE NOT COLLECTED TO DATE. APPLICANT MUST REMIT PRIOR TO PERMIT ISSUANCE*****

*****THIS REVIEW IS FOR ZONING PURPOSES ONLY AND IS NOT A BUILDING PERMIT*****

Approved **Approved w/Conditions** **Denied** **Hold**

Reviewed by: DLB Review Date(s): 8.14.2024

Please contact the Director of Public Works at 920.788.7500 if you have any questions



Village of Kimberly Request for Plan Commission Recommendation

<p>ITEM DESCRIPTION: Site Review – New Commercial Building, Future Tenant Space, 1023 Truman Street</p>
<p>REPORT PREPARED BY: Danielle Block, Administrator/Director of Public Works</p>
<p>REPORT DATE: August 13, 2024</p>
<p>EXPLANATION: Kevin Heiting, Shelsha LLC, Allstate, seeks Site Review approval for the construction of a new commercial building at 1023 Truman Street. The parcel is zone I1-Industrial Limited. Office buildings are a permitted use.</p> <p>Attached to this staff report include:</p> <ol style="list-style-type: none"> 1. Site Plan Review application and responses. 2. Allstate Project Description. 3. Civil and Architectural Plans. <p>Scope of Construction – Reference Project Description and Plans for additional insight.</p> <ol style="list-style-type: none"> 1. Construct a new 1,280 sf commercial space with attached 2,016 sf garage. 2. Insurance agency and storage garage. 3. Shared parking lot and driveway. 4. Future building sign. 5. No parking lot improvements. 6. Add additional lighting to the site. 7. No major landscape modifications. 8. Extension of storm water lateral. 9. Construction of new water and sewer lateral. 10. Utilize existing trash/dumpster enclosure. <p>The staff zoning review identified the proposed project complies with applicable ordinances. Staff has completed a review of the site for compliance with Kimberly Municipal Code and Kimberly Industrial Park Covenants, the proposed project meets the code and covenants and notes the following:</p> <ol style="list-style-type: none"> 1. Exterior Architectural Aesthetics. Industrial Park Covenants required an architectural aesthetic along CTH CE with enhanced building materials. Note the stone façade is 3’6” in height, light grey in color. Siding is steel, dark grey. Trim colors will be black. Exposed timber on front entry way. Staff is comfortable with proposed aesthetics. 2. Attached Accessory Structure Height. The height of the garage area is 19’ to 23’. 3. Signage. No details were submitted in regards to the business signage, either ground mount or building. Any approval of the site plan would be contingent upon the signage meeting Village ordinances and Industrial Park covenants. Sign permit will be required. 4. Utility Easement. The “Driveway Easement and Shared Parking and Driveway Maintenance Agreement per Doc 2315751” shall be amended to include Common Ownership and Maintenance responsibilities for the Sanitary Sewer and Storm Lines from and including CB E to the public storm line. 5. Landscape. Final landscape additions will be minimal and placed on the west and north sides of the building. No landscape plan required.
<p>RECOMMENDED ACTION: Staff recommends approval of the submitted plans conditioned upon:</p> <ol style="list-style-type: none"> 1. Wall Mount signage meeting Village Ordinances and Industrial Park standards. Sign Permit required. 2. The “Driveway Easement and Shared Parking and Driveway Maintenance Agreement per Doc 2315751” shall be amended to include Common Ownership and Maintenance responsibilities for the Sanitary Sewer and Storm Lines from and including CB E to the public storm line.



VILLAGE OF KIMBERLY
Site Review Application

Submit to:
Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: Shelsha, LLC Date: 2028-06-28
Petitioner Address: 800 W Ridgeview Dr. City: Appleton State: WI Zip: 54914
Telephone #: () 920-788-8856 Fax: () _____ email: kevinheiting@allstate.com
Status of Petitioner (please check one): Owner Representative Tenant Prospective Buyer

Petitioner's Signature (required): *[Signature]*

Owner Information

Owner(s): Shelsha, LLC Date: 2028-06-28
Owner(s) Address: 800 W Ridgeview Dr. City: Appleton State: WI Zip: 54914
Telephone #: () 920-788-8856 Fax: () _____ email: kevinheiting@allstate.com
Ownership Status (please check one): Individual Trust Partnership Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: *[Signature]* Date: 6/29/2024

Site Information

Address/Location of Proposed Project: Truman Street Zoning: I1
Proposed Project or Use: Business Office
Current or last Use of Property: Vacant/Parking Lot
Land Uses Surrounding this Address: North: I1 zone
South: NA
East: I1 zone
West: I1 zone

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.

Building Description and Use: Office building for an insurance agency and storage garage. The office portion will have myself and 2 employees working in it regularly during weekday daytime hours. We have very few incoming cars, but I would say on average 2-3 visitors weekly that drop off payments or come in for quotes. Most of our business is over the phone or electronically these days, so we do not have many customers stop in.

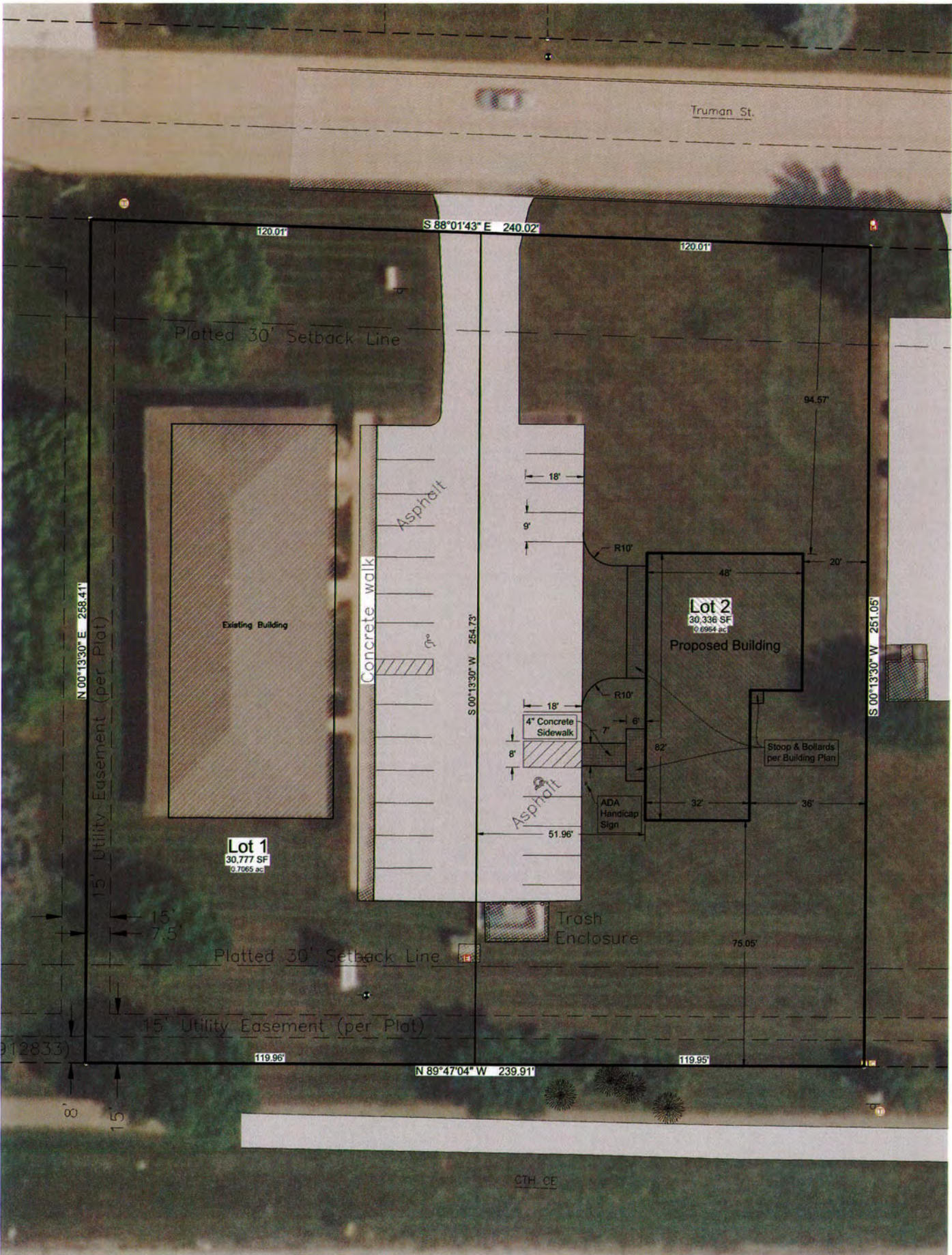
The garage portion is just for storage purposes and nobody will be working in that portion of the building. I also added that on the building to broaden the market if I ever had to sell or rent the building. There are not many buildings like this for plumbers, electricians, garage door installers etc with an office and storage.

This building will fit nicely with the surrounding buildings and being an owner occupied office for my business, we will keep it maintained very well.

Heiting Insurance

Village of Kimberly, Outagamie County, WI

For: Shelsha, LLC



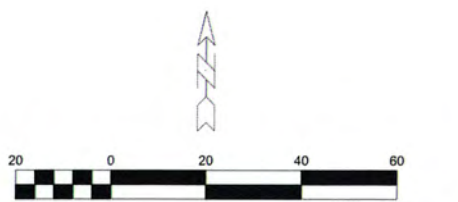
SITE INFORMATION:

Legal Description:	Lot 2 of CSM 8690
Parcel #:	25191501
Current Zoning:	I1 - Industrial Limited
Adjacent Zoning:	I1 - Industrial Limited
Site Areas	
Parcel Area	30,336 SF (0.6964 Acres)
Total Existing Impervious:	5,685 SF (19%)
Proposed Building Area:	3,296 SF
Proposed Pavement Area:	511 SF
Proposed Sidewalk Area:	414 SF
Total Proposed Impervious:	9,906 SF (33%)
Total Proposed Greenspace:	20,430 SF (67%)

PARKING CALCULATIONS
 Parking Stalls Proposed: 9

PROPERTY OWNER:
 Shelsha, LLC
 300 W. Ridgeway Drive
 Appleton, WI 54914
 Telephone: (920) 788-8856
 Email: kevinheiting@allstate.com

ARCHITECT:
 Frontier Builders & Consultants, Inc.
 P.O. Box 860
 Kaukauna, WI 54130
 Telephone: (920) 759-5033
 Email:



SHEET INDEX:

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Topographic Survey	1.1
Drainage, Grading & Erosion Control Plan	1.2
Utility Plan	1.3
Construction Details	2.1

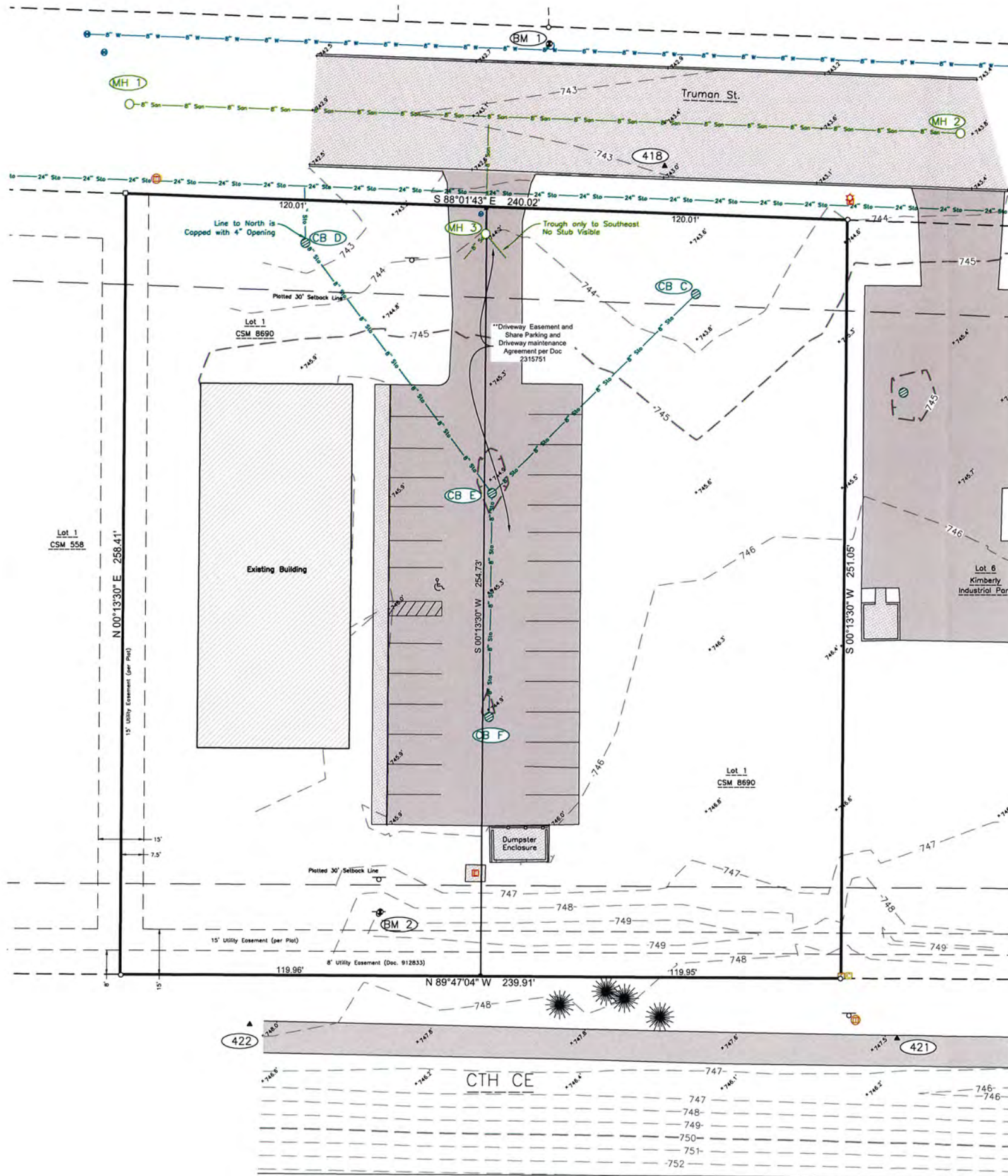
LEGEND

	Proposed Building
	Proposed Asphalt
	Proposed Concrete
	Proposed Gravel

SITE PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866 Fax: 920-441-0804
 www.davel.pro

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Storm Structures

Structure #	Rim	Inv	Size	Material	Direction
MH A	743.27	735.07	24"	RCP	E
		735.07	24"	RCP	W
		736.27	12"	PVC	N
MH B	744.48	736.38	24"	RCP	E
		736.38	24"	RCP	W
CB C	742.42	739.32	8"	PVC	SW
CB D	742.04	738.44	8"	PVC	SE
CB E	744.88	738.44	4"	PVC	N
		738.78	8"	PVC	S
CB F	744.98	738.78	8"	PVC	NW
		738.78	8"	PVC	NE
CB F	744.98	741.18	8"	PVC	N

Sanitary Structures

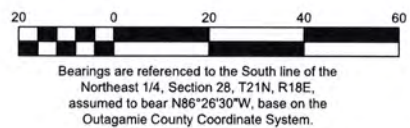
Structure #	Rim	Inv	Size	Material	Direction
MH 1	742.74	732.64	8"	PVC	W
		732.64	8"	PVC	E
MH 2	743.87	731.57	8"	PVC	W
		731.57	8"	PVC	E
MH 3	744.10	733.50	8"	PVC	N
		733.50	8"	PVC	SW
		733.50	8"	PVC	SE

BENCHMARKS (NAVD 88)

BM 0	NGS Benchmark PID and Designation - DE7729 Elev 791.73
BM 1	Fire Hydrant, Tag Bolt Adjacent to Entrance on North R/W of Truman St Elev 745.28
BM 2	Sign Base, Chiseled Square ±20' north of the south property line on the south concrete base to the monument sign Elev 749.72

Horizontal Control
Project - (Village of Kimberly)
2024-06-20
Davel Engineering and Environmental
Horizontal Control (per Outagamie County Coordinate System)

Point Number	Northing	Easting	Description
418	561398.54	841961.68	Control MAG
421	561110.03	842040.29	Control MAG
422	561114.20	841825.02	Control MAG



LEGEND

— CATV	— CATV	Underground Cable TV	○ Sanitary MH / Tank / Base	□ CATV Pedestal
— FO	— FO	Underground Fiber Optic	○ Clean Out / Pull Box	□ Gas Regulator
— SS	— SS	Sanitary Sewer (Pipe Size)	○ Storm Manhole	○ Post / Guard Post
— Sto	— Sto	Storm Sewer (Pipe Size)	○ Inlet	○ Deciduous Tree
— E	— E	Underground Electric	○ Catch Basin / Yard Drain	○ Coniferous Tree
— G	— G	Underground Gas Line	○ Curb Stop	○ Survey Control
— T	— T	Underground Telephone	○ Hydrant	○ Benchmark
— W	— W	Water Main (Pipe Size)	○ Utility Valve	○ Asphalt Pavement
—	—	Index Contour - Existing	○ Utility Meter	○ Concrete Pavement
—	—	Intermediate Contour - Existing	○ Light Pole / Signal	○ Gravel
			○ Guy Wire	
			○ Electric Pedestal	
			○ Electric Transformer	
			○ Telephone Pedestal	
			○ Ex Spot Elevation	

General Notes:

- Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

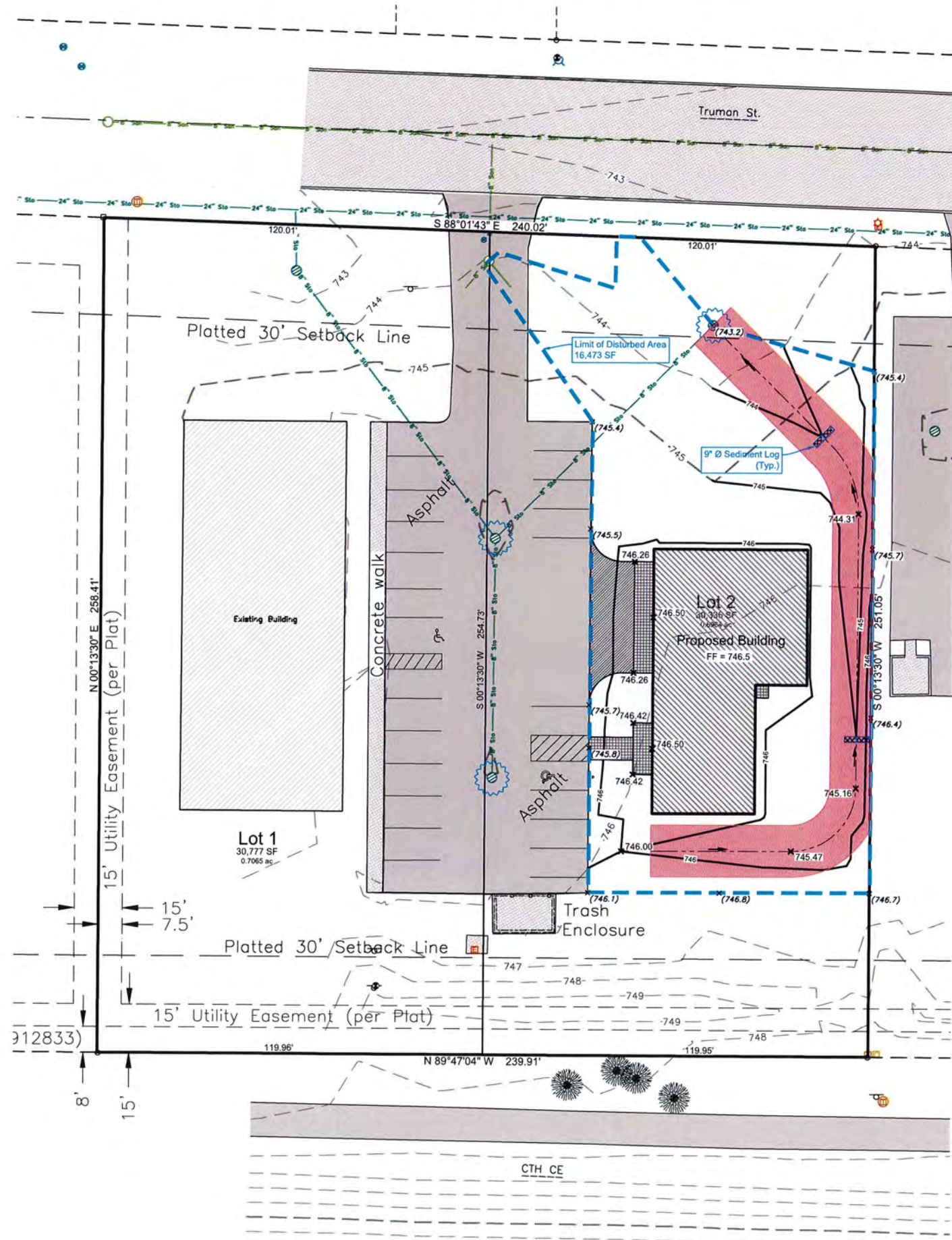
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DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

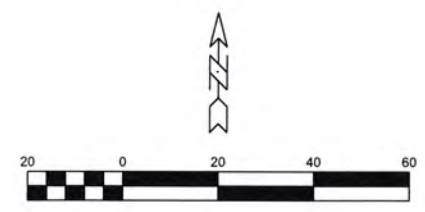
TOPOGRAPHIC SURVEY

Heiting Insurance
Village of Kimberly, Outagamie County, WI
For: Shelsha, LLC

Date: 06/29/2024
Filename: 8185Surface.dwg
Author: DRS
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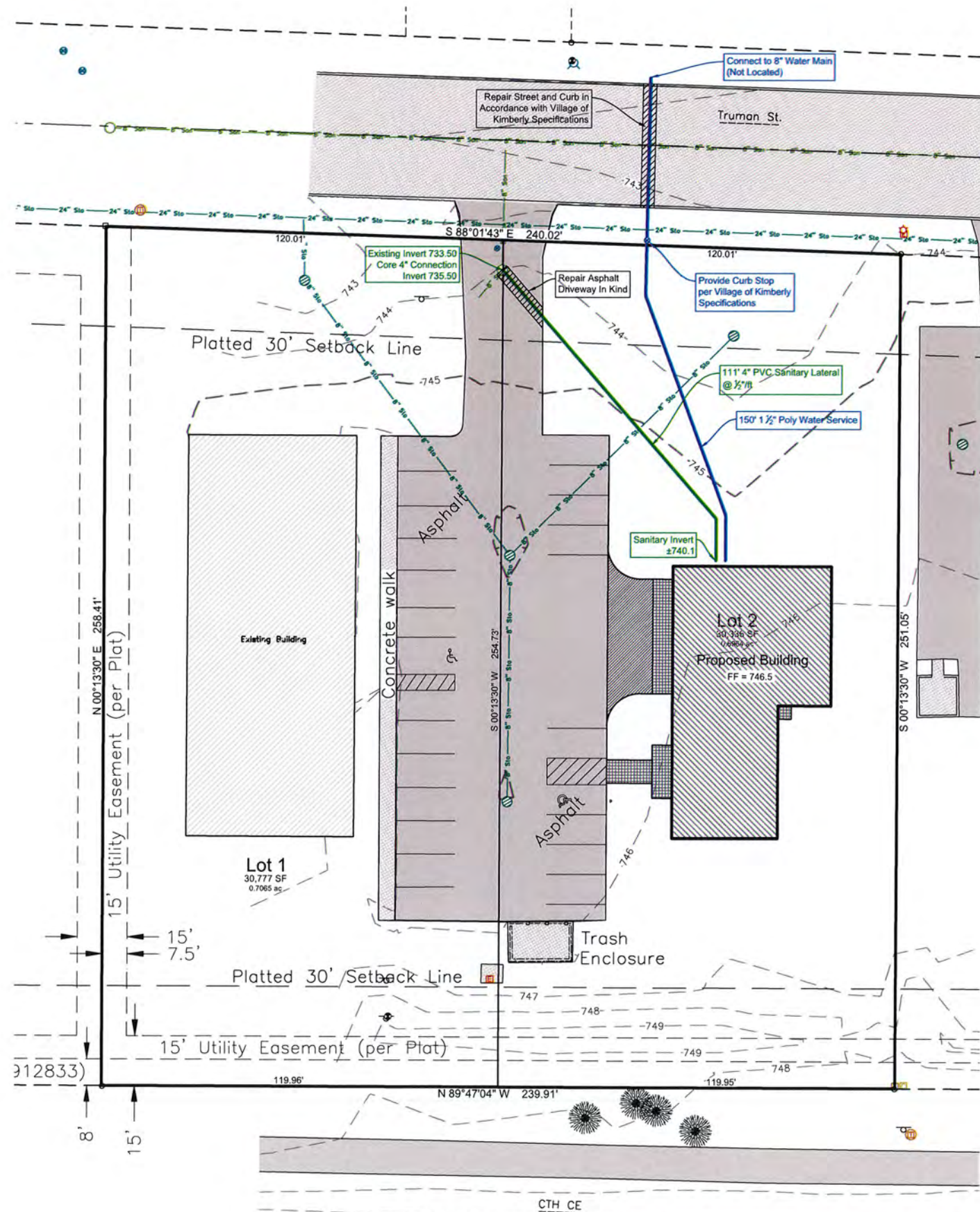


- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - Vegetation beyond slopes shall remain.
 - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
 - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
 - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
 - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
 - Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
 - Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.



LEGEND

608	Proposed Storm Sewer		Proposed Storm Manhole		Proposed Inlet Protection
	Proposed Contour		Proposed Curb Inlet		Type of Inlet Protection
	Proposed Culvert		Prop. Catch Basin / Yard Drain		Proposed Sediment Log
	Prop. Flowline Spot Elev.		Proposed Endwall		
	Prop. Top of Walk Elev.		Proposed Rip Rap		
	Existing Grade		Prop. Drainage Direction		
			Prop. Finished Floor Elev.		
			Prop. Class I Type B Erosion Mat		



Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Standard Specifications of the Village of Kimberly.

Streets shall be repaired in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Standard Specifications of the Village of Kimberly.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

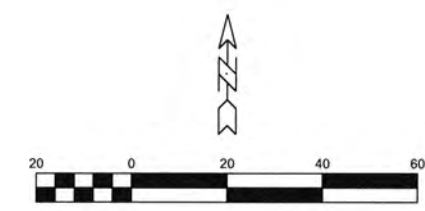
The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Water Pipe shall be PE, with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).

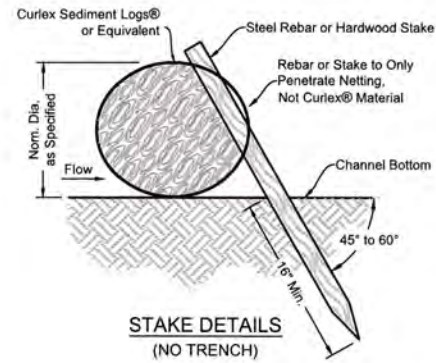
Sanitary Sewer Pipe Main shall be PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h). Sanitary Sewer laterals shall be PVC Schedule 40.



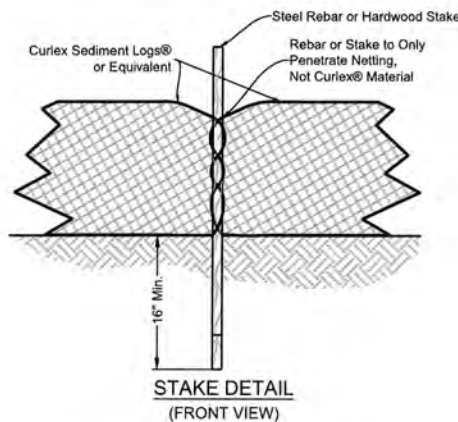
LEGEND			
	Proposed Storm Sewer		Proposed Sanitary Manhole
	Proposed Sanitary Sewer		Proposed Storm Manhole
	Proposed Water Main		Proposed Curb Inlet
	Proposed Contour		Prop. Catch Basin / Yard Drain
	Proposed Swale		Proposed Endwall
	Proposed Culvert		Proposed Hydrant
			Proposed Valve
			Proposed Curb Stop
			Proposed Cleanout
	Proposed Reducer		Proposed Plug
	Proposed Water MH		Proposed Tee
	Proposed Cross		Proposed 90° Bend
	Proposed 45° Bend		Proposed 22.5° Bend

UTILITY PLAN

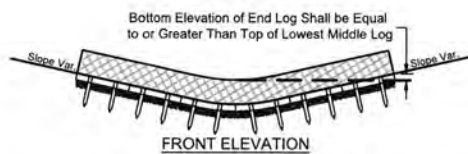
Heating Insurance
 Village of Kimberly, Outagamie County, WI
 For: Shelsa, LLC



**STAKE DETAILS
(NO TRENCH)**



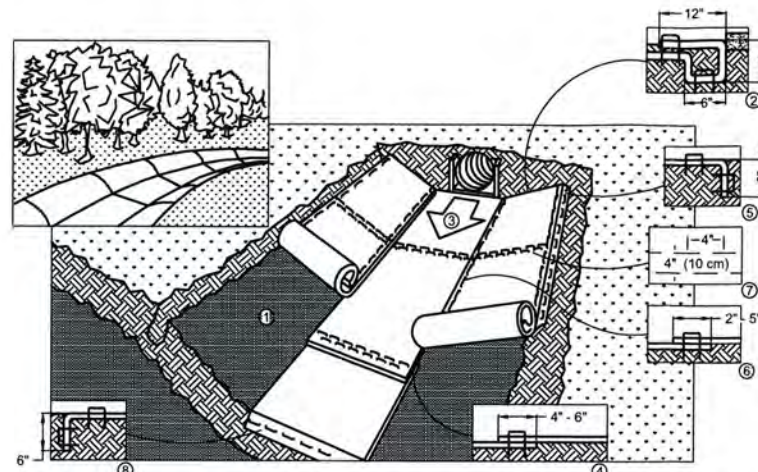
**STAKE DETAIL
(FRONT VIEW)**



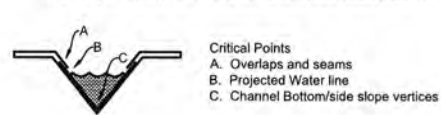
FRONT ELEVATION

NOTE:
Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and bury depth.

SEDIMENT LOG DETAIL



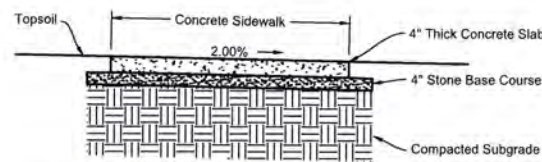
1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
2. Begin at the top of the channel by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) across the width of the RECP's.
3. Roll center RECP's in direction of water flow in bottom of channel. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.
4. Place consecutive RECP's end over end (shingle style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECP's.
5. Full length edge of RECP's at top of side slopes must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
6. Adjacent RECP's must be overlapped approximately 2" - 5" (5 cm - 12.5 cm) (depending on RECP's type) and stapled.
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.
8. The terminal end of the RECP's must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
9. Detail provided by North American Green (www.nagreen.com)



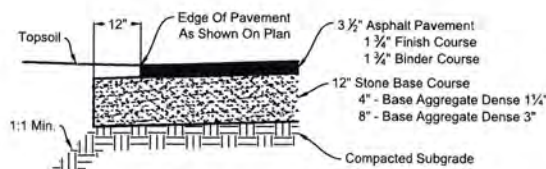
**EROSION MAT CHANNEL INSTALLATION
DNR TECHNICAL STANDARD 1053**

Note:
* Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

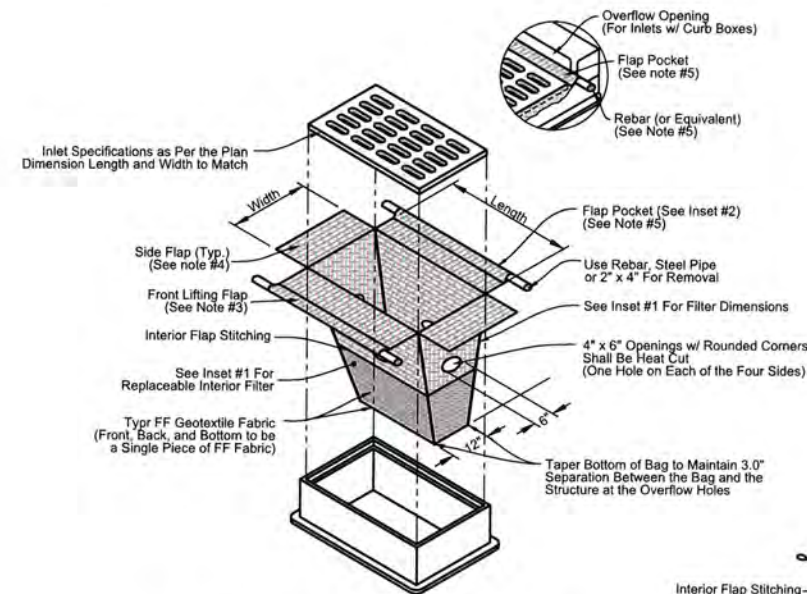
** In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.



CONCRETE SIDEWALK SECTION



ASPHALT PAVEMENT SECTION

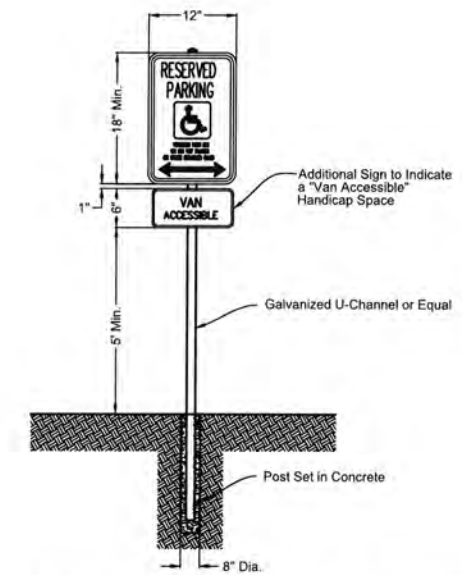
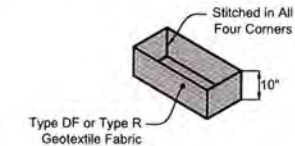
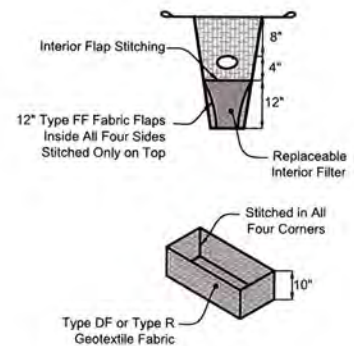


**INLET PROTECTION, TYPE D-M
DNR TECHNICAL STANDARD 1080
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)**

- NOTES:**
1. Taper bottom of bag to maintain three inches of clearance between the bag and the structure, measured from the bottom of the overflow openings to the structure wall.
 2. Geotextile fabric, Type FF for flaps, top and bottom of outside of filter bag. Front, back and bottom of filter bag being one piece.
 3. Front lifting flap is to be used when removing and maintaining filter bag.
 4. Side flaps shall be a maximum of two inches long. Fold the fabric over and reinforce with multiple stitches.
 5. Flap pockets shall be large enough to accept wood 2" x 4". The rebar, steel pipe, or wood shall be installed in the rear flap and shall not block the top half of the curb face opening.

MAINTENANCE NOTES:

1. When removing or maintaining inlet protection, care shall be taken so that the sediment trapped in the fabric does not fall into the structure. Material that has fallen into the inlet shall be immediately removed.



HANDICAP PARKING SIGN DETAIL (TYP.)

"COPYRIGHT NOTICE"

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PRELIMINARY

**NOT TO BE
USED FOR
CONSTRUCTION**

PROPOSED PROJECT FOR:

HEITING INSURANCE

LITTLE CHUTE,

Sheet Title:
PRELIMINARY FLOOR PLAN

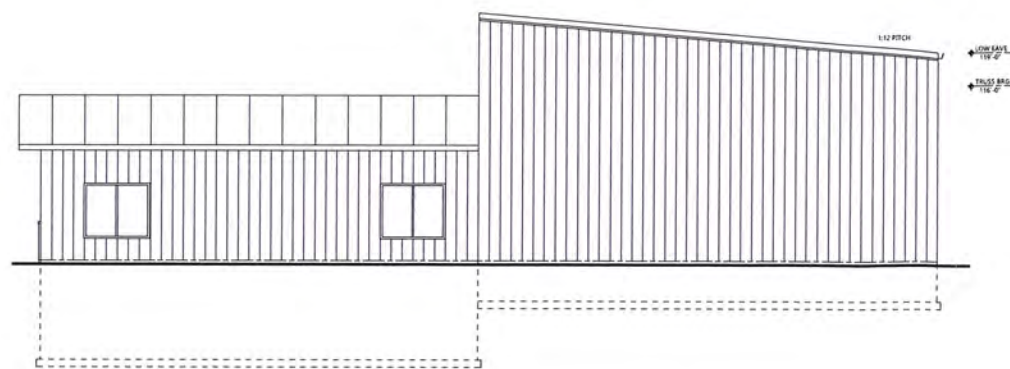
Revision:

Mark:	Date:	Description:
1	3-6-2024	
2	4-5-2024	
3	4-11-2024	

Project Number 0000

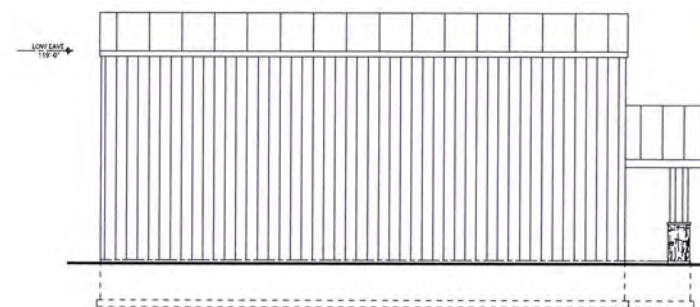
Date Issued 2-26-2024

Sheet Number **A1.0**



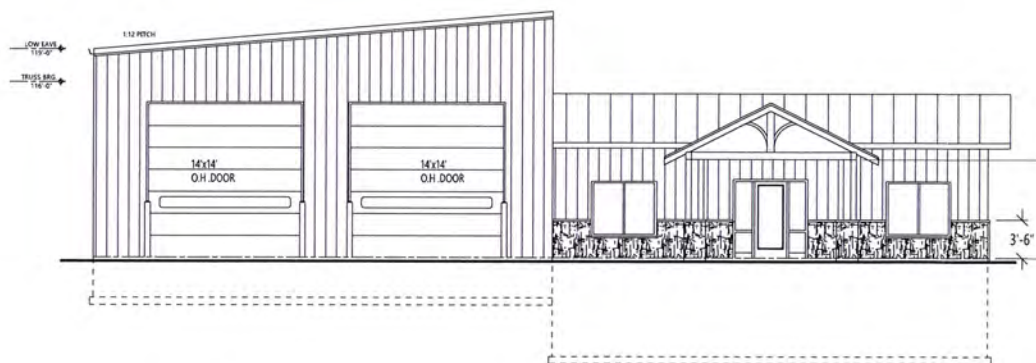
WEST ELEVATION

SCALE: 1/8"=1'-0"



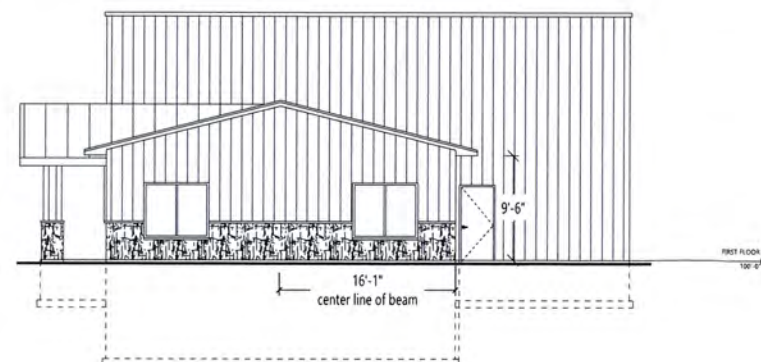
NORTH ELEVATION

SCALE: 1/8"=1'-0"



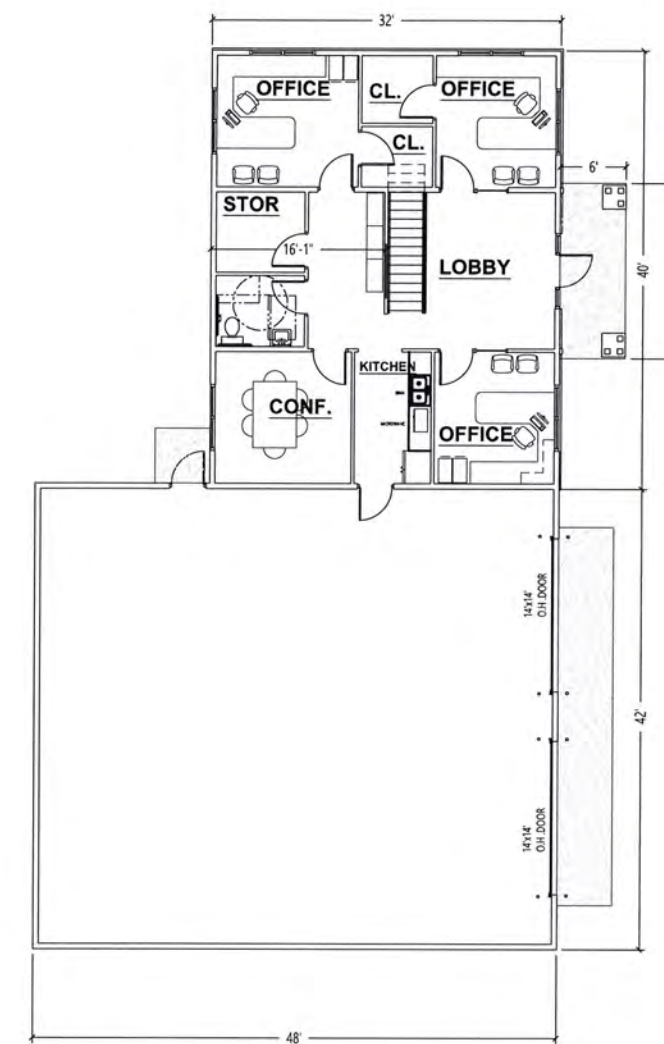
EAST ELEVATION

SCALE: 1/8"=1'-0"



SOUTH ELEVATION

SCALE: 1/8"=1'-0"



FLOOR PLAN

SCALE: 1/8"=1'-0"



Document Number

**SHARED DRIVEWAY,
PARKING, AND DUMPSTER
ENCLOSURE EASEMENT AND
MAINTENANCE AGREEMENT**

Document Title

Recording Area

Name and Return Address:

PIN:

See Exhibit A

**SHARED DRIVEWAY, PARKING, AND DUMPSTER ENCLOSURE EASEMENT AND
MAINTENANCE AGREEMENT**

**SHARED DRIVEWAY, PARKING, AND DUMPSTER ENCLOSURE EASEMENT AND
MAINTENANCE AGREEMENT**

(“*Agreement*”) is made this ___ day of _____, 2024, by and between the JONEN FAMILY LIMITED PARTNERSHIP (“*Jonen*”) *Lot# 1* and SHELSHA, LLC (“*Shelsha*”) *Lot# 2* (Each of the above may be individually referred to as an “*Owner*”, and collectively, the “*Owners*”).

RECITALS

- A. **WHEREAS**, Jonen is the owner of real property located at 1037 Truman Street, Kimberly Wisconsin, Outagamie County, Wisconsin.
- B. **WHEREAS**, Jonen is subdividing the Property and will sell the newly created parcel to the eastern side of the Property to Shelsha, The parcel retained by Jonen shall be referred to as the “*Jonen Parcel*” *Lot# 1*. The parcel sold to Shelsha will be referred to herein as the “*Shelsha Parcel*” “*Lot# 2*, which shall be legally described on Exhibit A.
- C. **WHEREAS**, each parcel will contain within its respective parcel one-half of the parking lot and one-half of the driveway.
- D. **WHEREAS**, each Owner therefore desires to grant to the other an easement for the shared driveway area for purposes of ingress and egress to and from Truman Street, and each Owner desires to enter certain agreements regarding the maintenance of the shared driveway, parking lot and dumpster enclosure all as set forth herein.
- E. **WHEREAS**, each Owner further desires to enter certain agreements regarding the use and maintenance of the driveway, parking lot and dumpster enclosure as set forth herein.

AGREEMENT

For good and valuable consideration, the receipt and sufficiency of which are acknowledged, the parties agree as follows:

- 1. **Grant.**
 - a. **Shared Driveway.** Jonen and Shelsha each grant a nonexclusive easement and right-of-way to one another and their successors and assigns to use the shared driveway area (as defined on Exhibit A, the “*Shared Driveway*”) for ingress and egress to Truman Street.
 - b. **Parking Lot.** Each Owner shall use its own parking lot, to the greatest extent possible as each Owner’s primary parking lot, provided, however, that Jonen and Shelsha each grant a nonexclusive right-of-way and easement, as well as

incidental use, to one another and their successors and assigns for the use of the shared parking lot, of the other, as set forth in this Section 1.b. . Jonen shall use Jonen *Lot# 1* for Jonen's parking needs to the greatest extent possible. Shelsha shall use Shelsha *Lot# 2* for Shelsha's parking needs to the greatest extent possible. If the parking spaces on Jonen *Lot# 1* are insufficient to support Jonen's parking needs. Jonen's and Jonen's heirs, successors, assigns, guests, and invitees shall be entitled to use Shelsha's *Lot# 2* for overflow parking. Similarly, if the parking spaces on Shelsha's *Lot# 2* are insufficient to support Shelsha's parking needs. Shelsha and Shelsha's heirs, successors, assigns, guests, and invitees shall be entitled to use Jonen *Lot# 1* for overflow parking.

There shall not, at any time, be any overnight parking in the parking lot on *Lot# 1* or *Lot# 2*, except to the extent reasonably necessary during periods of construction or business operations.

- c. **Dumpster and Dumpster Enclosure.** The dumpsters and dumpster enclosure serving both properties are located on *Lot# 2*. Shelsha grants to Jonen a nonexclusive easement and right of way over and on Shelsha *Lot# 2* to place one or more dumpsters within the dumpster enclosure on *Lot# 2*, (the Dumpster Enclosure) and Shelsha grants to Jonen, a non-exclusive easement and right of access to and from the Dumpster Enclosure for the limited purpose of placing waste in the dumpster and removing waste from the same.
- d. **Maintenance.** The parties agree to share in maintenance and certain other responsibilities regarding the parking lot, Shared Driveway, and Dumpster Enclosure as set forth herein.

2. **Permitted Users and Uses.** The easements, right of ways, and shared uses granted in Section 1, above, may be used by the Owners along with each of their tenants, employees, customers, agents, guests, and invitees. The Shared Driveway may be used for ingress and egress for business purposes only, except for the ingress and egress of construction vehicles from time to time during periods of construction by the other Owner, including but not limited to, construction of the initial improvements by the Owner of *Lot# 2*. Each Owner shall use its own parking lot, and the parking lot of the other as permitted herein, for business purposes only

3. **Maintenance Costs.** The present and future owners of *Lot# 1* and *Lot# 2* shall share all the reasonable costs of maintenance, repair, replacement, and clearing of snow on the parking lot and Shared Driveway, with an allocation of fifty percent (50%) each. The parking lot and Shared Driveway shall be maintained in a good state of repair, free of potholes, free of loose pavement, and with a substantially even surface and visually in a state that does not detract from the values of *Lot# 1* and *Lot# 2*. Snow should be cleared from the Parking Lot and Shared Driveway, so they are safe to travel. The parties shall share equally in the costs of maintaining the Dumpster Enclosure, provided, however, that, unless otherwise agreed to in writing by the Owners outside of this Agreement, dumpster fees shall not be shared, and each Owner shall be responsible

for its own dumpster usage and costs thereof. Repairs and maintenance shall be performed at such times and in such a manner as are mutually agreed by the Owners in writing, provided, however, that nothing shall prevent an Owner from performing any repairs, maintenance, or work upon its own property if agreement of the Owners cannot be reached.

If any Owner (or its tenants, employees, customers, agents, invitees, or contractors) causes damage (beyond ordinary wear and tear) to the Shared Driveway, the Dumpster Enclosure, or to the parking lot of the other Owner, then the Owner that caused such damage (or for whose tenant, employee, customer, agent, invitee, or contractor caused such damage) shall promptly restore the Shared Driveway or parking area to its pre-damage condition at that Owner's sole cost and expense.

Each Owner agrees to promptly pay its share of the expenses of maintenance, repair, and removal incurred by the performing Owner, or directly to any third party engaged to perform the work, within 30 days of billing for the expenses. If one Owner does not promptly pay to the other Owner its share, the incurring Owner may pay the full cost and then have an immediate right to reimbursement from the non-paying Owner, together with interest at the rate of 5% per year on the unpaid amount. If payment is due to a third party and an Owner does not pay its share, the other Owner may, in order to avoid a lien being placed on its property, pay the third party in full and recover such amounts from the non-paying owner upon the terms set forth above.

4. Obligations during Construction. During any period of construction by one of the parties, such party shall ensure that access and parking for the other Owner and businesses shall remain available, maintained, and reasonably unobstructed. All construction materials, waste disposal, construction equipment, and contractor parking shall occur only on that portion of the parking lot belonging to the Owner responsible for the construction, unless otherwise agreed by the other Owner. Any damage to the Shared Driveway or to the parking lot due to construction shall be repaired in a timely manner at the sole cost and expense of the Owner undertaking the construction.

5. Insurance. Each of the Owners shall maintain in effect at all times during the term of this Agreement a policy of general liability insurance naming the other Owner as an insured, to insure against injury to property, person, or loss of life arising out of each Owner's use, occupancy, or maintenance of the Shared Driveway with limits of coverage that are at levels customarily maintained by businesses in the community in which the Shared Driveway is located.

6. Equal Rights of Use. Each of the Owners shall have equal rights of ingress and egress over the Shared Driveway and shall take no action to prevent the other Owner from the enjoyment of such rights. There shall be no parking allowed, at any time, within the Shared Driveway.

7. Covenants Run with Land. All of the terms and conditions in this Agreement, including the benefits and burdens, shall run with the land and shall be binding upon, inure to the benefit of, and be enforceable by the Owners and their respective successors and assigns.

8. Non-Use. Non-use or limited use of the easement rights granted in this Agreement shall not prevent any of the Owners from later use of the easement rights to the fullest extent authorized in this Agreement.

9. Governing Law. This Agreement shall be construed and enforced in accordance with the internal laws of the State of Wisconsin.

10. Entire Agreement. This Agreement sets forth the entire understanding of the parties and may not be changed except by a written document executed and acknowledged by all parties to this Agreement and duly recorded in the office of the Register of Deeds of Outagamie County, Wisconsin.

11. Notices. All notices to any party to this Agreement shall be delivered in person or sent by certified mail, postage prepaid, return receipt requested, to the other party at that party's last known address. If the other party's address is not known to the party desiring to send a notice, the party sending the notice may use the address to which the other party's property tax bills are sent. Either party may change its address for notice by providing written notice to the other party.

12. Invalidity. If any term or condition of this Agreement, or the application of this Agreement to any person or circumstance, shall be deemed invalid or unenforceable, the remainder of this Agreement, or the application of the term or condition to persons or circumstances other than those to which it is held invalid or unenforceable, shall not be affected thereby, and each term and condition shall be valid and enforceable to the fullest extent permitted by law.

13. Waiver. No delay or omission by any party in exercising any right or power arising out of any default under any of the terms or conditions of this Agreement shall be construed to be a waiver of the right or power. A waiver by a party of any of the obligations of the other party shall not be construed to be a waiver of any breach of any other terms or conditions of this Agreement.

14. Enforcement. Enforcement of this Agreement may be by proceedings at law or in equity against any person or persons violating or attempting or threatening to violate any term or condition in this Agreement, either to restrain or prevent the violation or to obtain any other relief. If a suit is brought to enforce this Agreement, the prevailing party shall be entitled to recover its costs, including reasonable attorney fees, from the non-prevailing party.

15. No Public Dedication. Nothing in this Agreement shall be deemed to be a gift or dedication of any portion of the easement granted under this Agreement to the general public or for any public purpose whatsoever.

16. Re-recording Rights. Any party to this Agreement, or any of their successors or assigns to title to any portion of the parcels benefitted or burdened by the easement granted in Section 1, may take any action to preserve their respective rights under this Agreement, including, but not limited to, the re-recording of this Agreement pursuant to Wisconsin Statutes § 893.33.

[The remainder of this page is left intentionally blank. The signature pages follow.]

Dated: _____, 2024

Lot# 1 OWNER:
JONEN FAMILY LIMITED PARTNERSHIP

By: _____

Name: _____

Title: _____

STATE OF _____)
)ss.
COUNTY OF _____)

Personally came before me this ___ day of _____, 2024, the above named _____ as _____ of JONEN FAMILY LIMITED PARTNERSHIP, to me known to be the person who executed the foregoing **SHARED DRIVEWAY, PARKING, AND DUMPSTER ENCLOSURE EASEMENT AND MAINTENANCE AGREEMENT**

Notary Public, State of _____
My commission expires: _____

Lot# 2 OWNER:
SHELSHA, LLC

By: _____

Name: _____

Title: _____

STATE OF _____)
)ss.
COUNTY OF _____)

Personally came before me this ____ day of _____, 2024, the above named _____ as _____ of SHELSHA, LLC, to me known to be the person who executed the foregoing **SHARED DRIVEWAY, PARKING, AND DUMPSTER ENCLOSURE EASEMENT AND MAINTENANCE AGREEMENT**

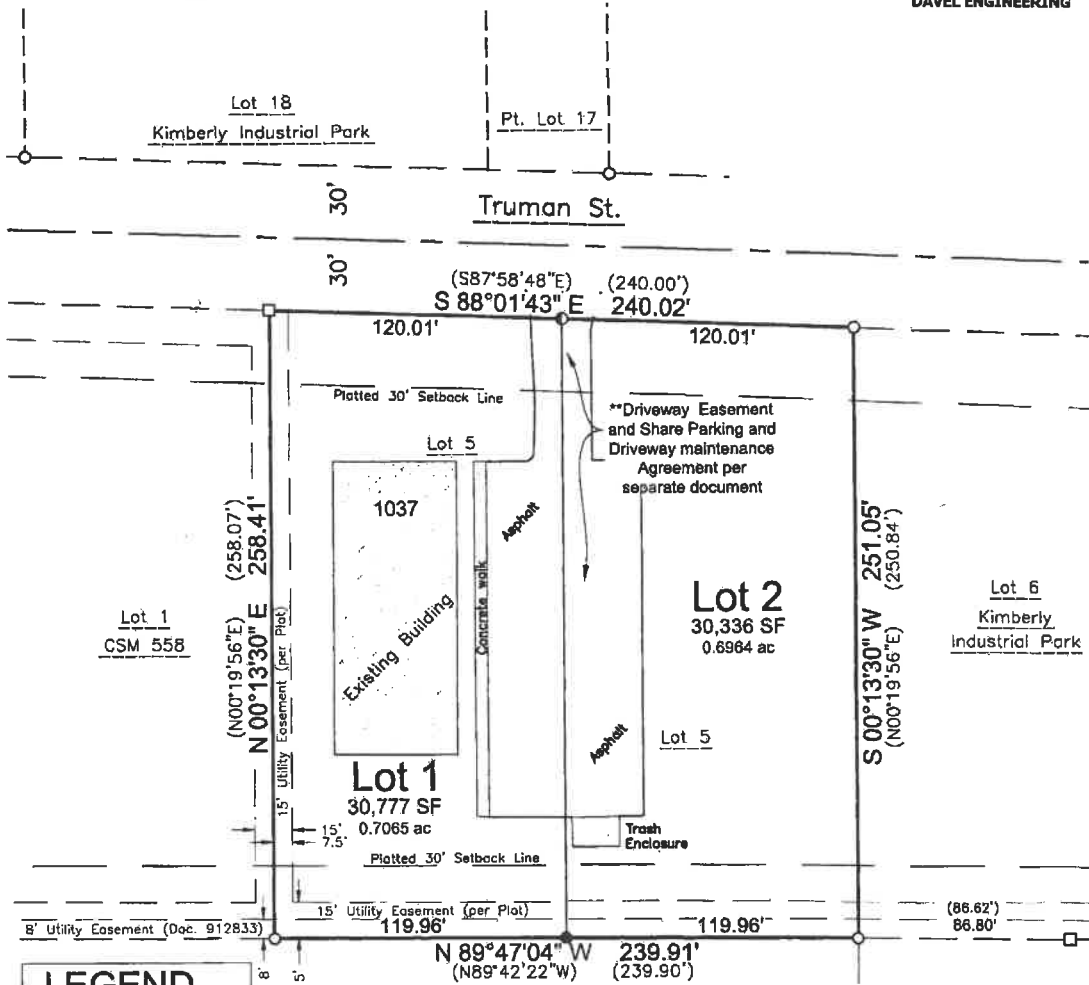
Notary Public, State of _____
My commission expires: _____

Certified Survey Map No. _____

Lot 5, Kimberly Industrial Park Plat, Located in Government Lot 6 and 7 of Section 28, Township 21 North, Range 18 East, Village of Kimberly, Outagamie County, Wisconsin.

Sarah R. Van Camp

SARAH R VAN CAMP, REGISTER OF DEEDS
 Return via MAIL (REGULAR)
 DAVEL ENGINEERING



LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- Masonry (PK) Nail SET
- 3/4" Rebar Found
- 1" Iron Pipe Found
- ⊕ Government Corner
- () Recorded As



Bearings are referenced to the South line of the Northeast 1/4, Section 28, T21N, R18E, assumed to bear N86°26'30"W, base on the Outagamie County Coordinate System.

Southwest Corner
 Section 28, T21N, R18E
 1 1/4" Rebar Found 1029.27'

Southeast Corner
 Section 28, T21N, R18E
 MAG Nail Found



Survey for:
 Jonen Family
 Limited Partnership
 PO Box 64
 Kewaunee, WI 54216



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1686 Fax: 920-441-0804
 www.davel.pro

Scott R. Andersen
 Professional Land Surveyor
 No. S-3169

2024.04.25
 08:36:42-0500'

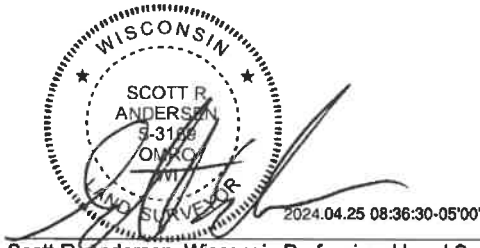
File: 8185CSM.dwg
 Date: 04/25/2024
 Drafted By: scott
 Sheet: 1 of 3

Certified Survey Map No. _____

Lot 5, Kimberly Industrial Park Plat, Located in Government Lot 6 and 7
of Section 28, Township 21 North, Range 18 East,
Village of Kimberly, Outagamie County, Wisconsin.

Surveyor's Certificate

I, Scott R. Andersen, Professional Land Surveyor, hereby certify That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Kimberly, and under the direction of Jonen Family Limited Partnership, the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is Lot 5, Kimberly Industrial Park Plat, Located in Government Lot 6 and 7 of Section 28, Township 21 North, Range 18 East, Village of Kimberly, Outagamie County, Wisconsin containing 61,113 Square Feet (1.4029 Acres) of Land. Described Parcel is subject to all easements, and restrictions of record.



Scott R. Andersen, Wisconsin Professional Land Surveyor No. S-3169

Owners' Certificate

As the property owners, we hereby certify that we caused the land described on this certified survey map to be surveyed, divided, and mapped all as shown and represented on this map.

We do further certify this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

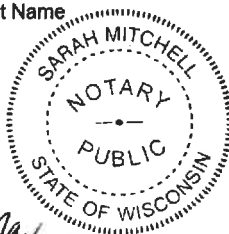
Village of Kimberly

Dated this 3RD day of MAY, 20 24

Ann Marie R. Jonen
Owner / Managing Member

ANN MARIE R. JONEN
Print Name
Jonen

State of Wisconsin)
)SS
Calumet County)



Personally came before me on the 3rd day of May, 20 24, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

Sarah Mitchell My Commission Expires 12/21/24
Notary Public, Wisconsin

Certified Survey Map No. _____

Lot 5, Kimberly Industrial Park Plat, Located in Government Lot 6 and 7
of Section 28, Township 21 North, Range 18 East,
Village of Kimberly, Outagamie County, Wisconsin.

Village Board Resolution

Resolved, that this certified survey map in the Village of Kimberly, Outagamie County, Jonen Family Limited Partnership, the property owners, is hereby approved by the Village Board of the Village of Kimberly.

Charles A. Kuen CHARLES A. KUEN 04-29-2024
Village President Print Name Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Kimberly.

Jennifer Weyenberg Jennifer Weyenberg 4-29-2024
Village Clerk Print Name Date

Treasurers' Certificate

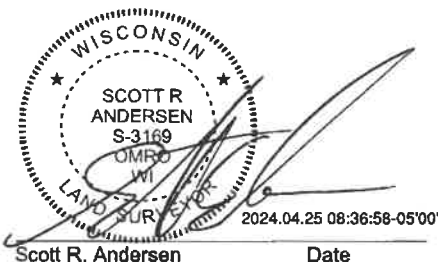
We, being the duly elected, qualified and acting Treasurers' of the Village of Kimberly and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Jennifer Weyenberg Jennifer Weyenberg 4-29-2024
Village Treasurer Print Name Date

Barbara Schuch Barbara Schuch 5/29/2024
County Treasurer, Deputy Print Name Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

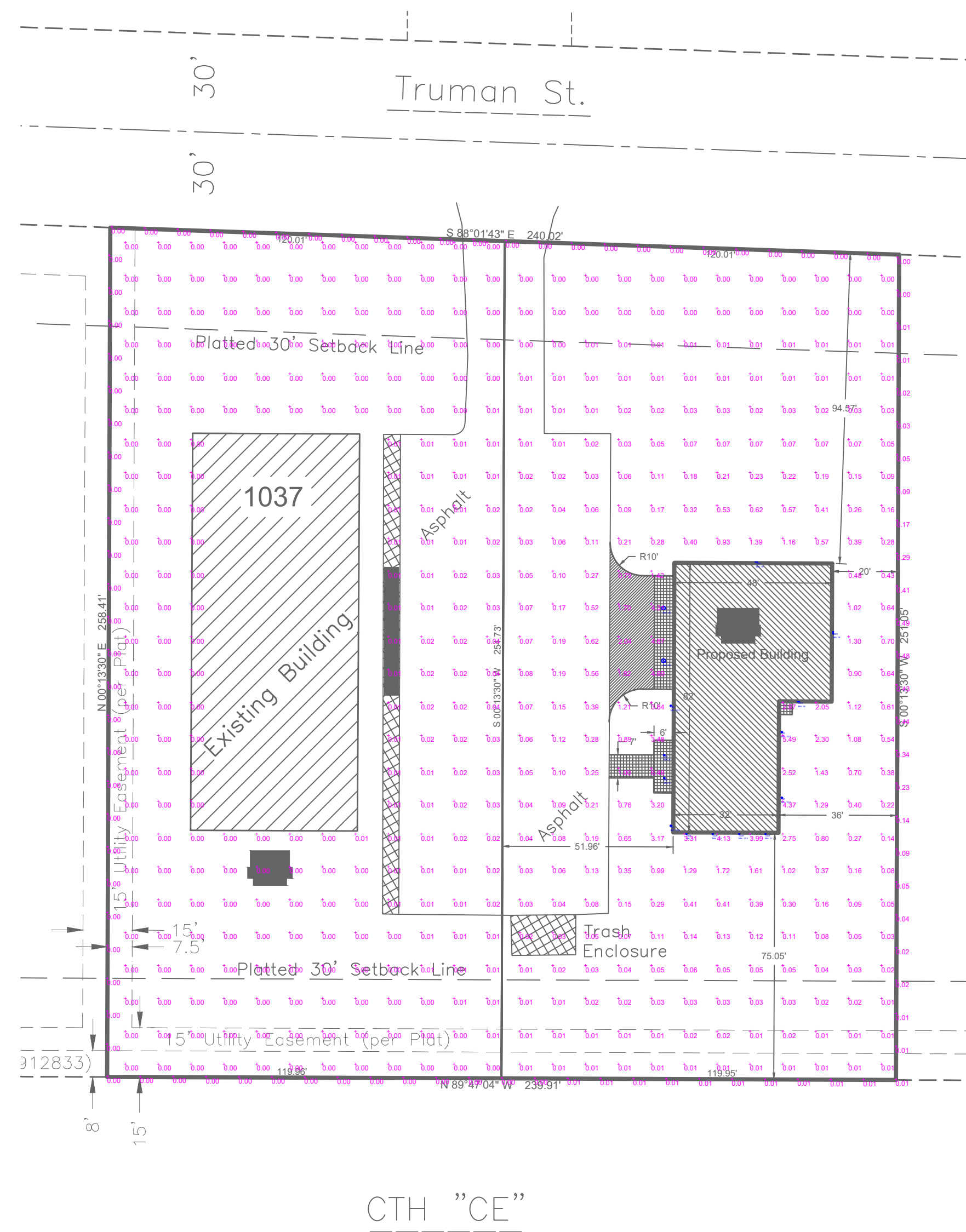
the property owner of record: Recording Information: Parcel Number(s):
Jonen Family Limited Partnership Doc. 1695180 250191500



Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Color Temperature is 4000K
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7 feet for calculations.



Label	Qty	Arrangement	LUF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
DL1	8	SINGLE	0.850	LITHONIA	WFE LED 30W/30W/30W/30W/30W/30W/30W/30W	24.0	192.0	1920
DL2	4	SINGLE	0.850	JANU	WFE LED 30W/30W/30W/30W/30W/30W/30W/30W	9.3	37.2	773
DL3	2	SINGLE	0.850	AMP	AMP/LED/30W/30W/30W/30W/30W/30W/30W/30W	1.5	6.0	115
DW1	3	SINGLE	0.850	LITHONIA	WPK LED P1 4W/4W/4W	11.47	34.41	1558

Label	Calculation Summary	Units	Avg	Min	Max	AvgMin	MaxMin
PRELIMINARY PROPERTY LINE	Illuminance	Fc	0.04	0.08	0.08	N/A	N/A
SITE	Illuminance	Fc	0.24	0.48	0.50	N/A	N/A



#	DATE	COMMENTS

REVISIONS

DRAWN BY : LB

DATE : JULY 24, 2024

SCALE : 1/32" = 1'-0"

HEATING INSURANCE

APPLETON, WISCONSIN

SITE LIGHTING

KIMBERLY INDUSTRIAL PARK
PROTECTIVE COVENANTS

DECLARATION OF RESTRICTIONS

The Village of Kimberly, Wisconsin; the owner of real property designated as Kimberly Industrial Park; and described as follows:

Part of Government Lots 5,6, 7, 8 in Section 28, Township 21 North, Range 18 East, Village of Kimberly, Outagamie County, Wisconsin, described as:

Beginning at the intersection of the north right-of-way line of C.T.H. "CE" with the east line of Government Lot 5; thence westerly along the north line of said C.T.H. "CE" to the east line of Marcella Street; thence northerly along said east line to the Village limits line (south line of Murphy Concrete Products Co. property); thence easterly 791.94 feet along said Village limits line to the west line of Government Lot 6; thence northerly along said west line to the south right-of-way line of the Chicago and Northwestern Railroad; thence northeasterly along said south right-of-way line to the east line of Government Lot 5; thence southerly along the east line of Government Lot 5 to the point of beginning on the north line of C.T.H. "CE".

In order to establish a general plan for the improvement and development of the property, the Village desires to impose on it mutual, beneficial, restrictions for the benefit of all lands in the property and for the benefit of the Village of Kimberly and the future owners of these lands. The Village hereby declares that the property shall be transferred, sold, leased, conveyed, and occupied subject to the restrictions and covenants herein set forth.

1. USE OF LAND

It is the intention of the Village of Kimberly that the Industrial Park be developed to enhance the future industrial growth of the Village in a planned development for general business and light industry, distribution and limited retail operations. The type of industry and business "mix" will be approved by the Plan Commission acting as Industrial Development Board, and final approval shall be determined by the Village Board of the Village of Kimberly. No building permits shall be applied for to the Village within the Industrial Park without having a site plan submitted to, reviewed and approved by the Village of Kimberly as required under pertinent Ordinances of the Village.

2. NUISANCE CONTROL

No operation, process, manufacturing, or building use in said subdivision shall produce or create excessive noise, light, odor, smoke, vibration, heat, industrial waste, or other excessive measurable external nuisance.

3. OUTDOOR STORAGE

All materials, products, or trash stored outside buildings must be behind the front building face line from the street right-of-way line, and must be screened from view from the street and adjoining properties with a solid fencing or screening approved by the Industrial Development Board. All trash must be enclosed by a fence of solid material such as will provide a suitable vision screen.

Minimum height of such fence shall be six feet or otherwise comply with Village fence ordinance. Fences must be kept painted or have such other finish as is generally acceptable for good appearance.

4. HEIGHT, BUILDING LINES AND SETBACKS

(a) The maximum building height pursuant to Section 9.17 of the Village Zoning Ordinance shall be no greater than sixty (60) feet.

(b) FRONT: No part or portion of any building shall be erected, constructed or extended nearer than thirty (30) feet from the street right-of-way, or both street right-of-way lines on a corner lot, of any lot in said subdivision. Parking of employees motor vehicles and storage of materials, products or equipment shall be prohibited at all times within this thirty (30) foot setback area. The entire area shall be turfed and landscaped.

(c) REAR: No part or portion of any building shall be erected, constructed, or extended nearer than twenty (20) feet to any rear lot line, except in the case of an erection or construction of any building or structure used for outside rail-road loading or unloading facilities, wherein the restriction shall not apply.

(d) SIDE: No part or portion of any building shall be erected, constructed, or extended nearer than 10 feet to any side lot line, except for a corner lot as noted above. The combined total of side yards for any parcel shall not be less than 30 feet. Variances may be granted by the Village Board. Corner lots have two side lot lines.

5. ARCHITECTURAL CONTROL

Complete architectural design must be given to all facades of all buildings with all side and rear elevations being given architectural treatment compatible with the front elevation of the building and all buildings must be approved by the Industrial Development Board.

6. SIGNS

No sign shall be erected or maintained on the property except in conformity with the following:

1. Signs visible from the exterior of any building may be lighted, but no signs or any other contrivance shall be devised or constructed so as to rotate, gyrate, blink, or move in any animated fashion.

2. Signs shall be restricted to advertising only the person, firm, company, or corporation operating the use conducted on the site or the products produced or sold therein.

3. All signs attached to the building shall be flush mounted. Only one exterior wall sign per business shall be allowed covering no more than 10 percent of the area of the wall.

4. One freestanding, monument type ground sign per business shall be allowed. The total size of the freestanding sign shall not exceed 35 square feet. Maximum height of all monument signs permitted shall not exceed 10 feet above ground level. The type location and placement of signs shall be approved by the Industrial Development Board.

5. Variances may be granted by the Village Board or its designated agent upon evidence that restrictions are not realistic.

7. OFF STREET PARKING AND LOADING

All walks, parking area and loading zones shall be paved to prevent windblown dust and provide all-weather surfaces.

Each owner of a site shall provide adequate off-street parking to accommodate all parking needs for the site. All employee parking will take place in side and/or rear yard lots. Customer/visitor parking may be permitted in front up to a maximum of six (6) spaces inside, but not closer than ten (10) feet from the street right-of-way.

The following guide shall be used to determine parking requirements:

1. In addition to employee and visitor parking, there shall further be space required to provide sufficient parking for trucks and trailers. Truck loading berths shall be prohibited at the front of all buildings unless the face of each truck loading berth is set back at least one hundred (100) feet from the street line and suitable maneuvering area is provided.

8. LANDSCAPING

The entire setback area shall be turf between the lot line from the street curb to the building face, except when parking lots are permitted. Such landscaping shall be completed not later than nine months after occupancy. All landscaping, plantings, etc., shall be done in a suitable manner and with the approval of the Industrial Development Board of the Village so that it will produce an acceptable appearance, excepting only those areas as may be required for driveways, visitor parking or walks.

9. UTILITY CONTROLS

All utilities shall be underground where feasible. This shall apply to all electric, telephone, gas, water, storm and sanitary sewers, excepting electric lines exceeding 12,000 volts, the location of which must be approved by the Industrial Development Board.

10. COOPERATION FOR MINOR EASEMENTS

All owners and occupants of parcels within said Industrial Park shall cooperate with the Village and other owners and occupants within said Industrial Park in the planning and granting of all necessary and reasonable easements for gas, electric, telephone, sewer, water, access roads, rail spurs, and loading tracks provided that such easements do not interfere with the present use of the land or unduly restrict future use of development. Nothing contained in this section shall be deemed to require the purchased to grant any specific easement, nor grant easements or right-of-ways without full reasonable compensation therefore.

11. DRAINAGE CONTROLS

No land shall be developed and no use shall be permitted that results in increased storm water run-off from any parcel and flooding or erosion on adjacent properties. Such run-off shall be properly channeled into a storm drain, water course, ponding area, or other public facility.

12. EXCESS SOIL

Any excess soil, earth or fill material not used by the owner or occupier of the premises shall not be removed from such premises without first offering same to the Village of Kimberly, free of charge, for removal by the Village within a reasonable time following such offer, and without further cost to the owner or occupier.

13. RECAPTURE AND RESALE OF LAND

(a) If a buyer of any parcel does not commence construction of a building or buildings thereon within 12 months after the date of purchase or if the buyer of any parcel does not complete construction of a building or buildings

thereon within 2 years after the date of purchase, the Village shall have the option to repurchase the property. Exercise of the option shall be effected by resolution adopted by the Village Board. Such option shall be exercisable only in writing delivered to the buyer within 6 months after the expiration of such 12 months or 2 year period or within 6 months after any extension to such periods granted by the Village Board if good cause shown. Closing shall take place within 60 days following the exercise of such option on such date as shall be designated by the Village specified in such notice. The purchase price to be paid by the Village upon the exercise of such option shall be the sum of the following:

1. The purchase price paid for the land by the buyer.
2. All special assessments which may have been paid by the buyer or levied against the premises during the period of such buyers ownership.

From the purchase price and any additions as set forth above, there shall be subtracted the following items:

- (1) Unpaid real estate taxes;
 - (2) Pro-ration of current years real estate taxes to date of closing;
 - (3) Title insurance policy premiums paid at the time of the original sale and at the time of the buyback.
 - (4) Liens and encumbrances on the property of a definite or ascertainable amount;
 - (5) The estimated cost of restoring the property to the condition which it was in at the time of purchase; however, the Village may at its option accept the parcel and the improvements thereon in which case restoration shall not be required.
 - (6) The sales commission paid by the Village at the time of the original purchase as such figure is reflected on the closing statement.
- (b) In the event a buyer elects to sell all or any part of any parcel which is vacant, the same shall first be offered for sale, in writing, to the Village at a price per acre computed as set forth in Subsection (a) above. The Village shall have sixty (60) days from the receipt of such offer to accept or reject same. Acceptance or rejection of such offer shall be effected by resolution adopted by the Village Board. Upon acceptance by the Village, conveyance shall be by warranty deed free and clear of all liens and encumbrances, except those in existence prior to the buyer's ownership of the property, and subject to municipal and zoning ordinances, easements for public utilities, and building restrictions and ordinances. Seller shall furnish title policy at seller's expense.
- (c) If the Village fails to timely exercise the option described in Subsection (a) above or fails to timely accept the offer described in Subsection (b) above or rejects said offer, buyer may then sell such property to any other buyer and the Village shall have no further interest therein, except that any use of said property by any subsequent buyer shall be subject to applicable zoning, ordinances, restrictions, and regulations of the Village relating to the use of said property at the time of such sale.
- (d) Nothing contained herein shall be deemed to give the Village a right of first refusal or option in the event that a buyer of a parcel who has improved the same by construction of a building or buildings thereon shall propose to sell all of such property as one parcel together with the improvements thereon it being intended that the provisions of this shall apply only to the resale of vacant parcels.

14. NUMBER OF YEARS RESTRICTION TO RUN WITH THE LAND.

Each lot shall be conveyed subject to the within restrictions and covenants,

all of which are to run with the land and shall be binding on all parties and all persons claiming them for a period of ten (10) years from the date this declaration of restriction is recorded, after which time said covenants and restrictions as are then in force and effect shall be automatically extended for successive periods of ten (10) years each, unless an instrument terminating such restrictions signed by a majority of the then owners of the lots in said subdivision, together with the approval thereof by the Village Board as evidenced by a resolution duly adopted by at least three-fourth (3/4) favorable vote of all members of the Village Board.

In determining a majority of property owners, one vote shall be counted for each owner owning three (3) acres of land or less, and one additional vote for each additional full three (3) acres, with a maximum of ten votes for any one property owner.

15. MODIFICATION AND AMENDMENT OF DEED RESTRICTIONS

The within covenants and restrictions, except the provisions of paragraph 13 of these restrictions, may be modified and amended only upon the execution and recording of a written instrument to said effect by the majority of the then owners of the lots in said subdivision with the approval thereof by the Village Board as evidenced by a resolution duly adopted by at least three-fourths (3/4) favorable vote of all members of the Village Board at any time.

The majority of the property owners shall be determined as set forth in paragraph 14 of these restrictions.

J 5955 I 28

VILLAGE OF KIMBERLY

AMENDMENT TO PROTECTIVE COVENANTS-KIMBERLY INDUSTRIAL PARK

RE: Village of Kimberly Industrial Park Protective Covenants recorded November 30, 1984, Document No. 855551, Jacket 5069, images 42-47, Outagamie County Registry.

1. That paragraph 4.(c) is corrected to read as follows:

4.(c) REAR: No part or portion of any building shall be erected, constructed, or extended nearer than 20 feet to any rear lot line, except in the case of an erection or construction of any building or structure used for outside railroad loading or unloading facilities, wherein the restriction shall not apply.

2. That paragraph 4.(d) is corrected to read as follows:

4.(d) SIDE: No part or portion of any building shall be erected, constructed, or extended nearer than 10 feet to any side lot line, except for a corner lot as noted above. The combined total of side yards for any parcel shall not be less than 30 feet. Variances may be granted by the Village Board. Corner lots will have two side lot lines.

3. The first paragraph of paragraph 8, dealing with landscaping, is corrected to read as follows:

8 LANDSCAPING: The entire setback area shall be turf between the lot line from the street curb to the building face, except when parking lots are permitted. Such landscaping shall be completed not later than nine months after occupancy. All landscaping, plantings, etc., shall be done in a suitable manner and with the approval of the Industrial Development Board of the Village so that it will produce an acceptable appearance, excepting only those areas as may be required for driveways, visitor parking or walks.

Pt 2556, 7 vs 8
P/-18-18
12/1/88

Draft - 2

4. Paragraph 11 dealing with drainage controls is corrected to read as follows:

11 DRAINAGE CONTROLS: No land shall be developed and no use shall be permitted that results in increased storm water run-off from any parcel and flooding or erosion on adjacent properties. Such run-off shall be properly channeled into a storm drain, water course, ponding area, or other public facility.

That these amendments, to Village of Kimberly Industrial Park Protective Covenants, as adopted by the Village Board of Trustees, of the Village of Little Chute, shall be recorded with the Outagamie County Register of Deeds.

By order of the Village Board of Trustees:


RICK HERMUS, Village Clerk

Signature authenticated this 20 day of Dec., 1985.


CHARLES J. HARTZHEIM, ATTORNEY

ABSTRACT

This instrument drafted by:
VILLAGE OF KIMBERLY
515 West Kimberly Avenue
Kimberly, Wisconsin 54136

COUNTY OF OUTAGAMIE
FILE NO. 876605

REGISTER'S OFFICE
OUTAGAMIE COUNTY, WI.
RECEIVED AND RECORDED ON

DEC 23 1985

AT 8:30 O'CLOCK A.M.
IN JACKET 5955 IMAGE 28-29
Space. Herb wt
REGISTER OF DEEDS

pd.
600

atty. Charles Hartzheim
(use enr. . . 1)



Village of Kimberly Request for Plan Commission Recommendation

<p>ITEM DESCRIPTION: Site Plan Review – Blue at the Trail – Ranch Plan (Tanha & Satori Trail) & 2-Story 2-Unit Plan (Satori Trail)</p>
<p>REPORT PREPARED BY: Danielle Block</p>
<p>REPORT DATE: August 13, 2024</p>
<p>EXPLANATION: In the Planned Unit Development at Blue at the Trail, the developer has submitted unique and visually appealing plans for the ranch and 2-story 2-unit homes along Tanha & Satori Trail. The 2-story 2-unit homes will be constructed along Satori Trail. The Ranch Plan will be constructed along Tanha & Satori Trail. See the site plan pages for unit locations.</p> <p>Ranch Home</p> <ol style="list-style-type: none"> 1. 1563 sf home. 2. 590 sf attached garage. 3. Slab on grade with first floor mechanical room. 4. Unique design features. <p>2-Story 2-Unit</p> <ol style="list-style-type: none"> 1. Side “A” total 1883 sf. 527 sf attached garage. 2. Side “B” total 1912 sf. 527 sf attached garage. 3. Slab on grade with first floor mechanical room. 4. Unique design features. <p>Aesthetic: Both plans blend architectural lines and visual aspects of the large condo building including blending faux wood appearance to the exterior front doors, soffits and garage doors. Similar hues of color.</p> <p>Staff has completed a review of the architectural components of the plans and notes the following related to the development:</p> <ol style="list-style-type: none"> 1. Planned Unit Development Designation, Plat & Covenants. Required for Lot 1 and Lot 2 a Planned Unit Development. The zoning ordinance provides the ability to consider and approve Planned Unit Development to encourage and promote environmental design, allowing greater freedom, imagination and flexibility in the development of land. Setback standards need to be established. Covenants/condominium declarations to be established. Site grading and drainage plan required. Plat required for the development.
<p>RECOMMENDED ACTION: Staff recommends architectural approval of the submitted plans.</p>



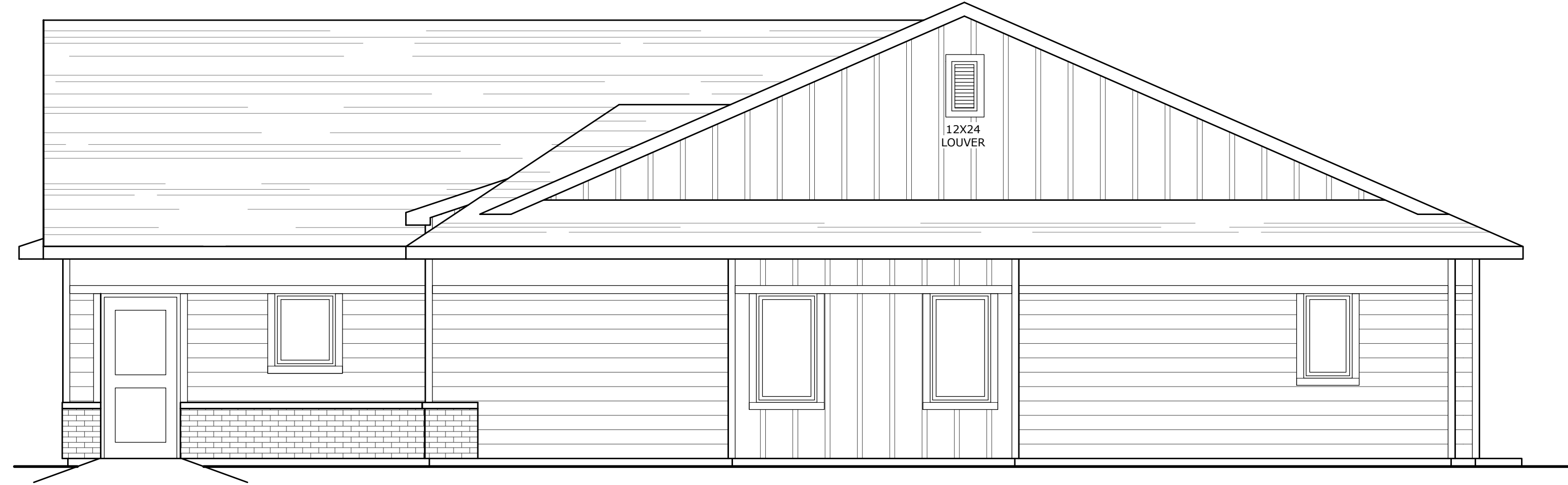
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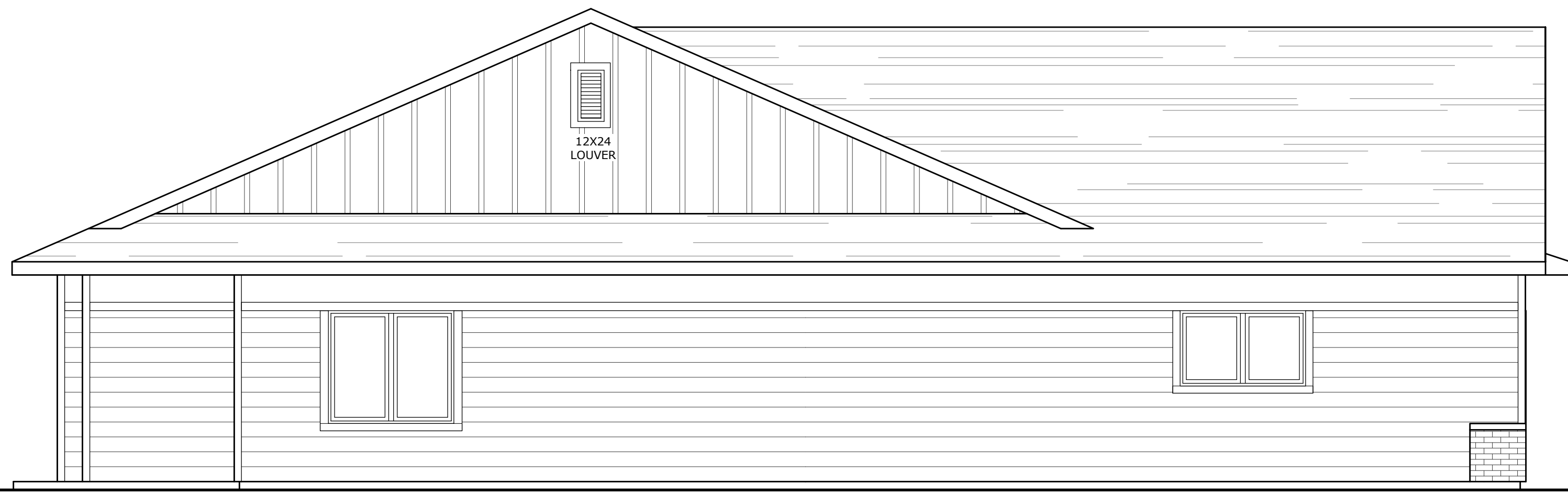
FRONT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

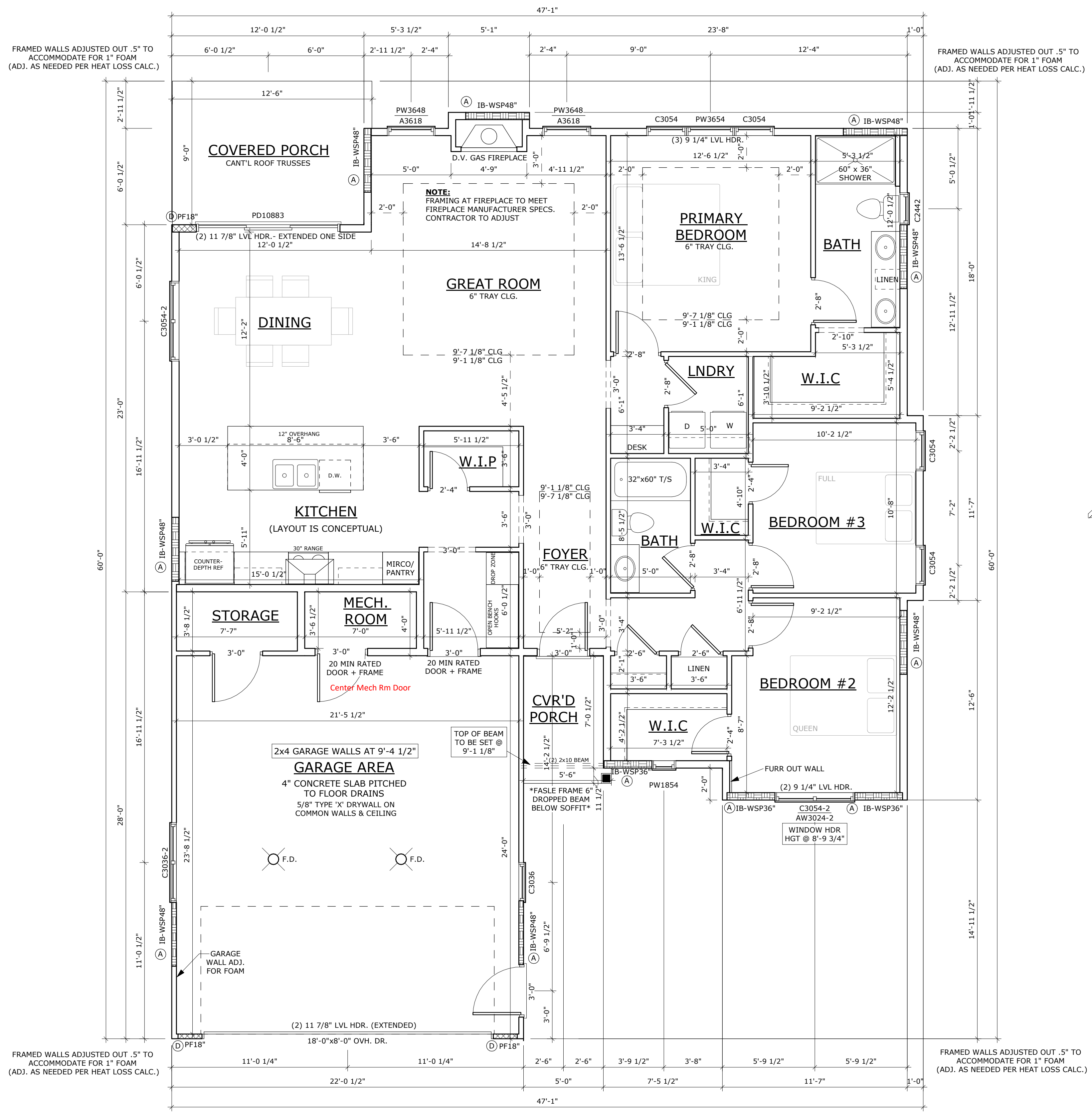
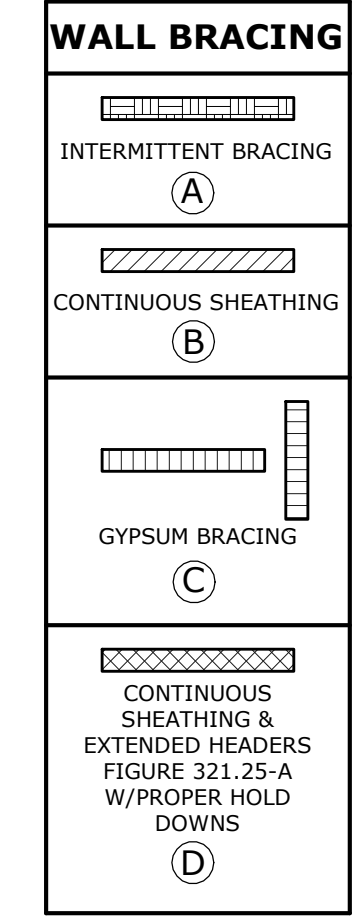
DESIGNER: D. EVERS	SCALE: 1/4" = 1'-0"	SHEET NO.:	PROJECT NO.:
		A1	R24-294-W
FINAL PLAN			
UNIT #22A & #11A - BLUE AT THE TRAIL			
BRYAN KASTER			UNIT #22A & #11A KIMBERLY, WI 54137
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<small> PRELIMINARY PLAN REVISIONS REVISIONS BID PLAN FINAL PLAN </small>			
05/14/2024	05/23/2024	07/01/2024	07/25/2024
MCT	MCT	DJE	CJP

Building Site: **#11A** (351 Tanha Trail) & **#22A** (351 Satori Trail)

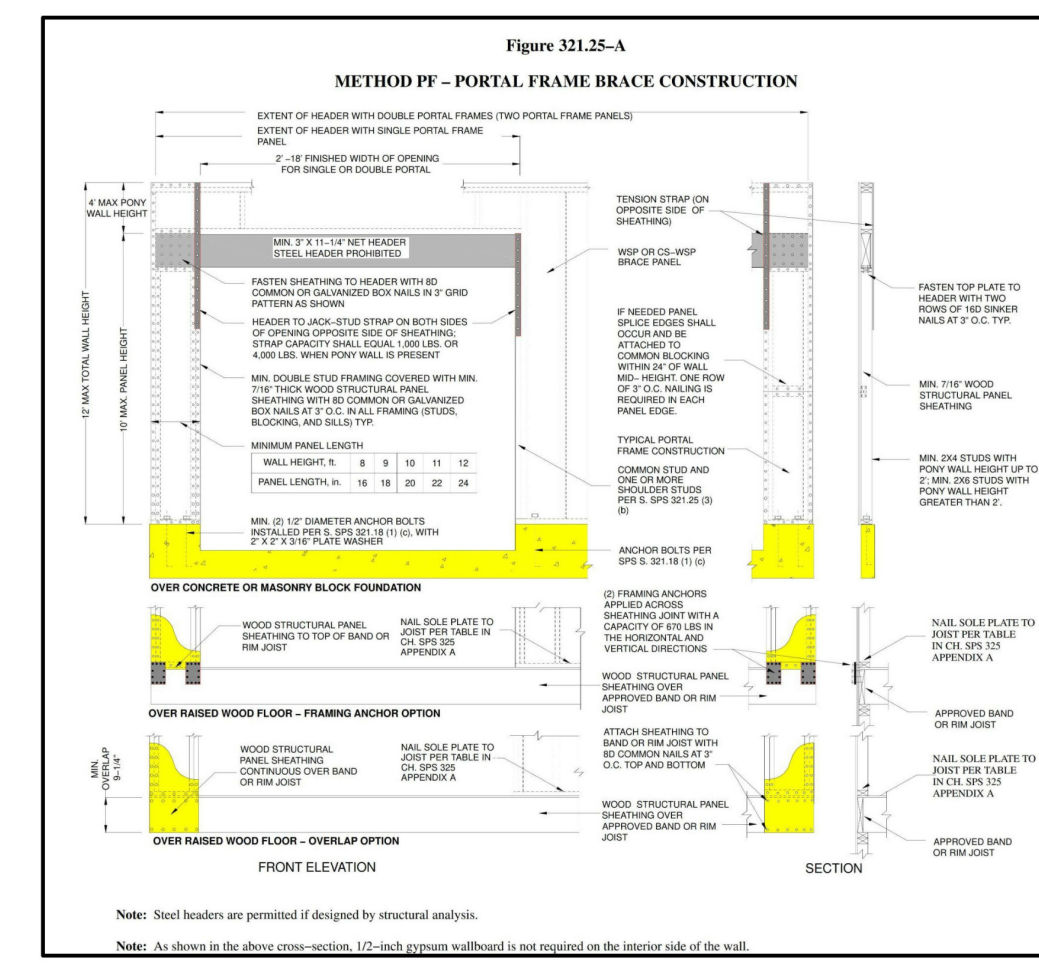
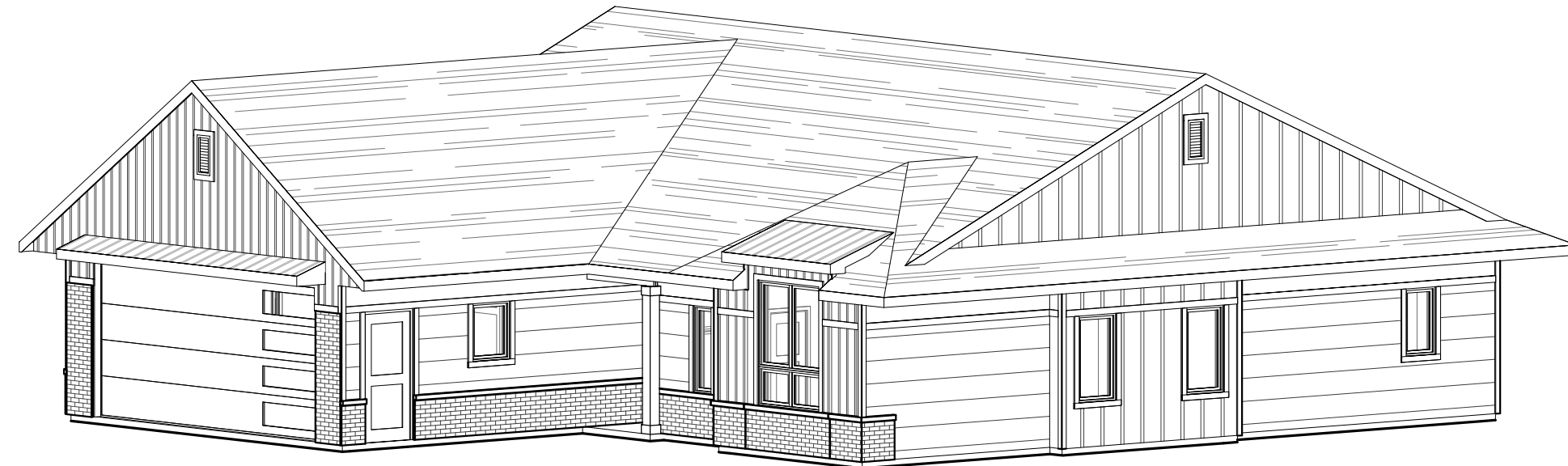
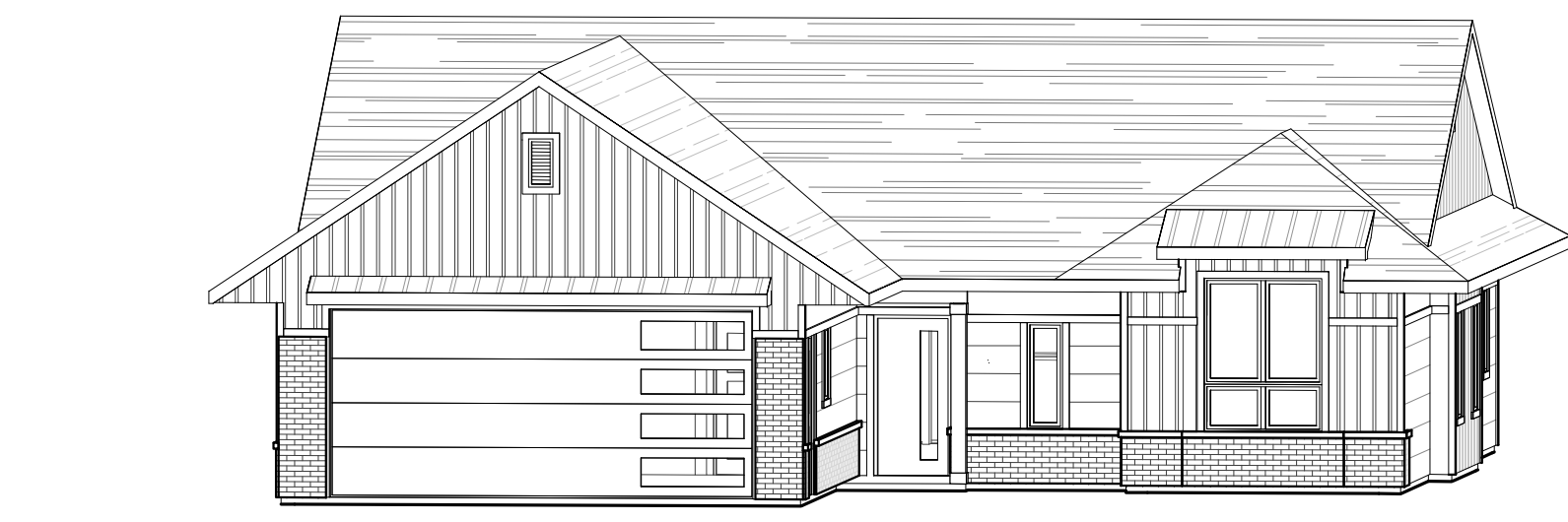
NEW HOME PLAN SPECIFICATIONS

- FOUNDATION INFORMATION**
- HOUSE FOUNDATION**
10" x 4'-0" POURED CONCRETE WALL
 - GARAGE FOUNDATION**
6" x 4'-0" POURED CONCRETE WALL
 - PORCH/PATIO FOUNDATION (UNEXCAVATED)**
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
 - WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
 - FINAL WALL/POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
 - MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
 - WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
 - BEARING WALLS TO SIT ON MIN. 16" x 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.
- WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE EXTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE INTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9'-4 1/2" (UNLESS NOTED/SHOWN OTHERWISE)
 - GARAGE**
WALL HEIGHT: 2 x 4 x 9'-4 1/2" (UNLESS NOTED/SHOWN OTHERWISE)
- FLOOR SYSTEMS**
- BASEMENT**
4" CONCRETE SLAB
 - FIRST FLOOR**
4" CONCRETE SLAB
 - STANDARD LOADING (PER SQ. FT.)
40' LL, 15' DL
 - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10' DL FOR TILE FLOOR
13' DL FOR GYP/CRTE (1.5" THICK)
20' DL FOR FIREPLACE FACE/HEARTH
25' DL FOR GRANITE/QUARTZ
 - DEFLECTION: LL=L/480, TL=L/360
DURATION OF LOAD: 1.00%
- ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR: ZONE 2
 - STD. LOADING (PER SQ. FT.)
30' TCDL, 104' TCDL, 104' BCDL
 - DEFLECTION: LL=L/240, TL=L/180
DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2x10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
 - TOP OF WINDOW R.O.S.
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
 - MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 WALLS = 5 1/2", 2X4 WALLS = 3 1/2"
 - ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
 - GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/PL LINE, BASEMENT WINDOWS, ETC.
 - ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WALLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
 - DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
 - ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
 - ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

FIRST FLOOR AREA 1563 SF
TOTAL AREA 1563 SF
 GARAGE FLOOR AREA 590 SF



FIRST FLOOR PLAN
 1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"



FINAL PLAN

UNIT #22A & #11A - BLUE AT THE TRAIL
 BRYAN KASTER

REVISIONS	DATE	BY	DESCRIPTION
PRELIMINARY PLAN	05/14/2024	MCT	
REVISIONS	05/23/2024	MCT	
REVISIONS	07/01/2024	MCT	
BID PLAN	07/25/2024	DJE	
FINAL PLAN	07/26/2024	CJP	

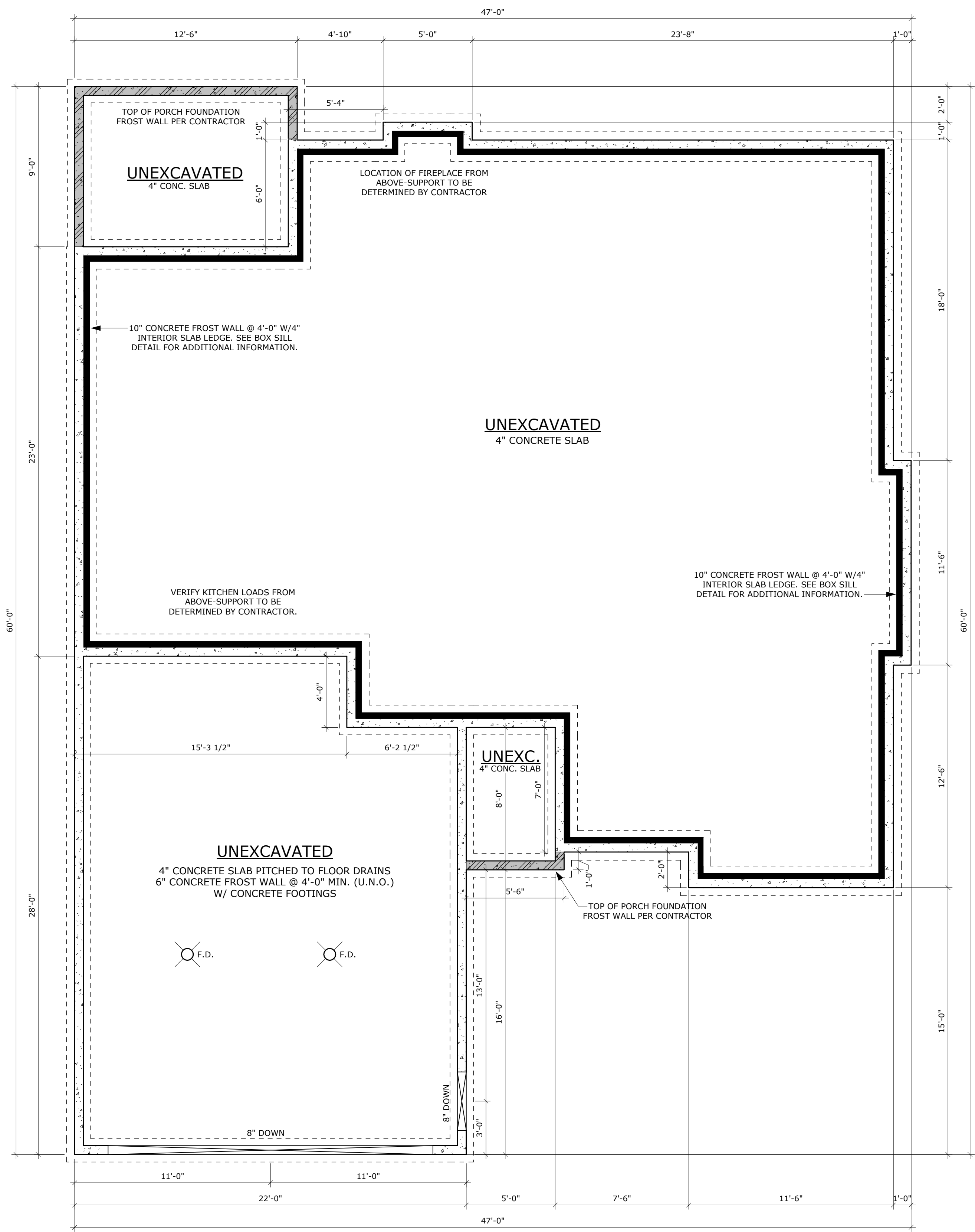
Drexel
 DrexelTeam.com

DESIGNER: D. EVERS
 SCALE: 1/4" = 1'-0"
 SHEET NO: **A2**
 PROJECT NO: R24-294-W

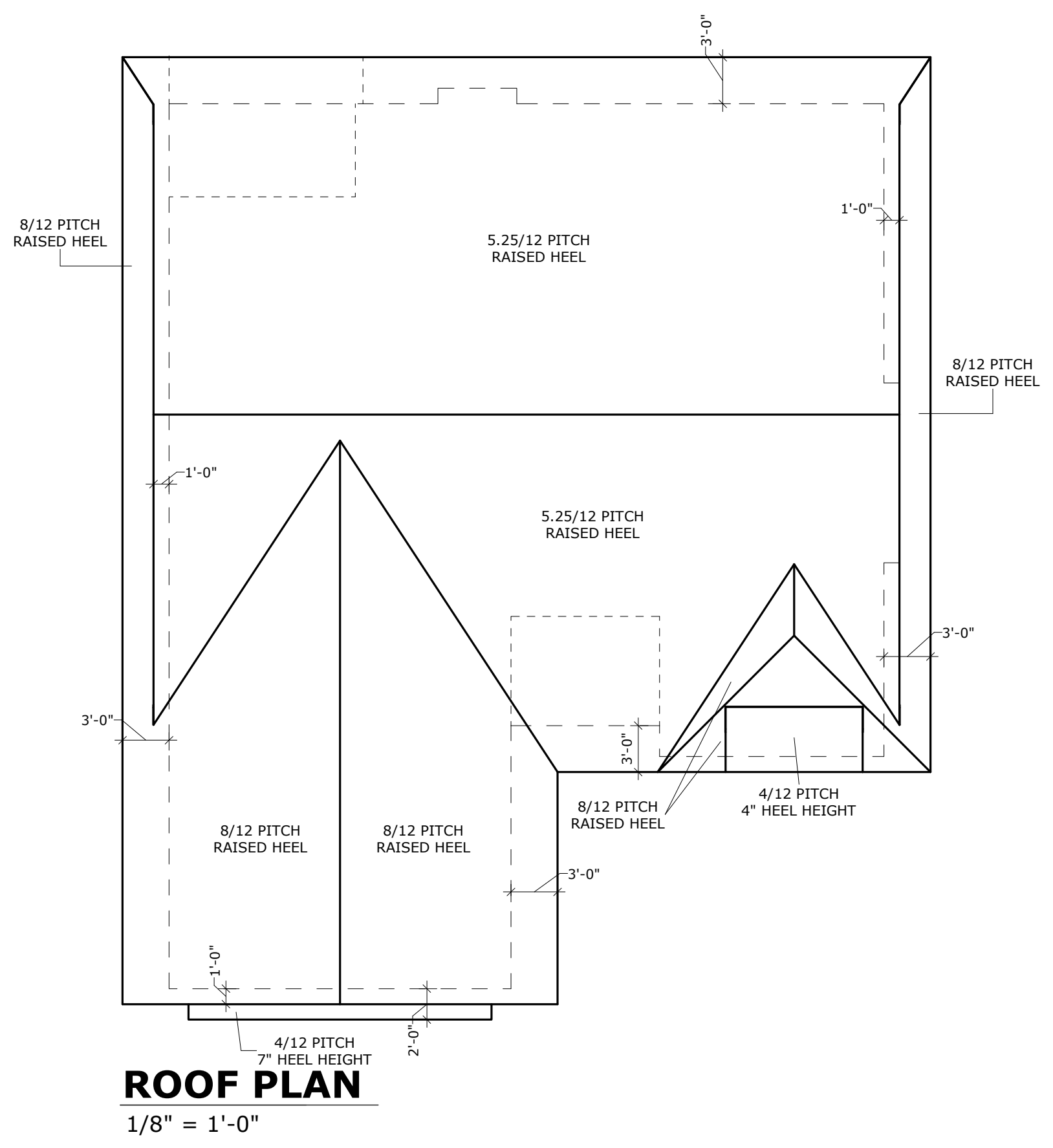
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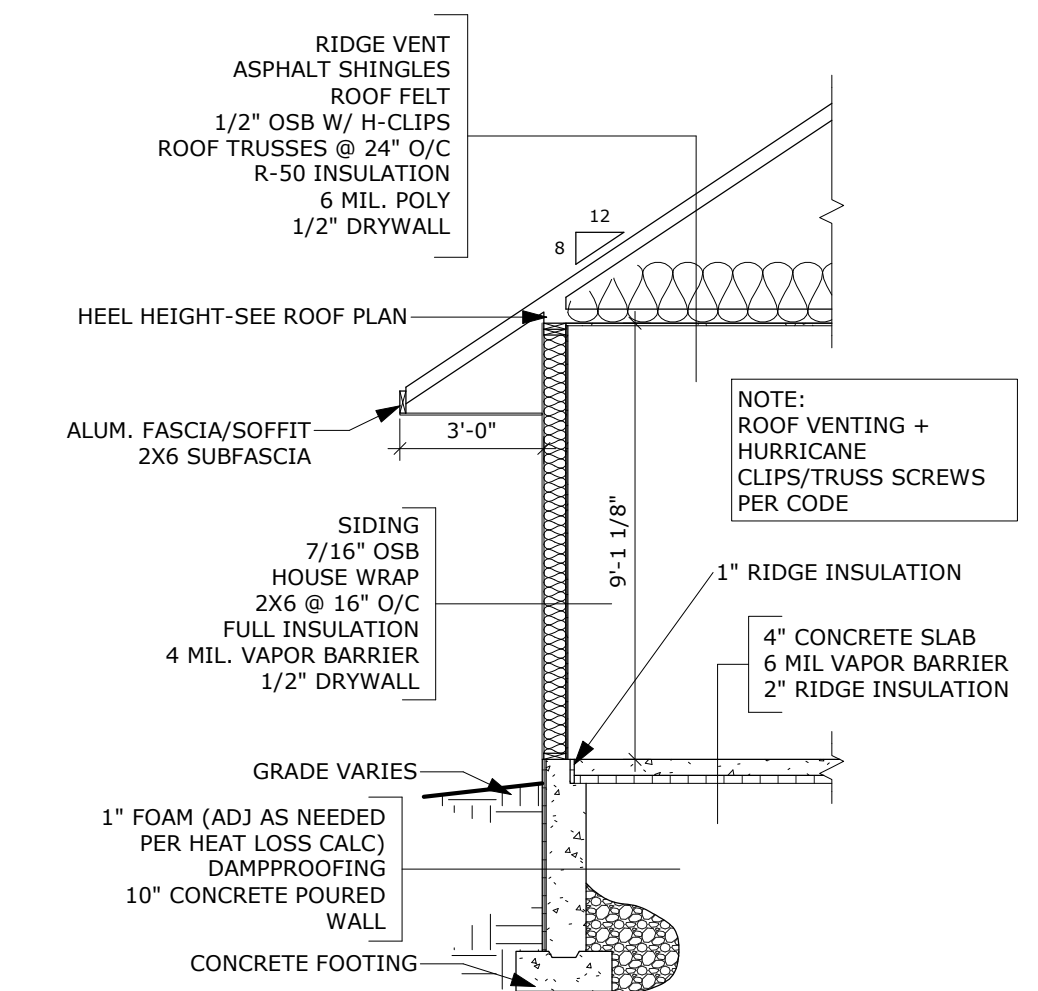
FIRST FLOOR AREA 1563 SF
TOTAL AREA 1563 SF
 GARAGE FLOOR AREA 590 SF



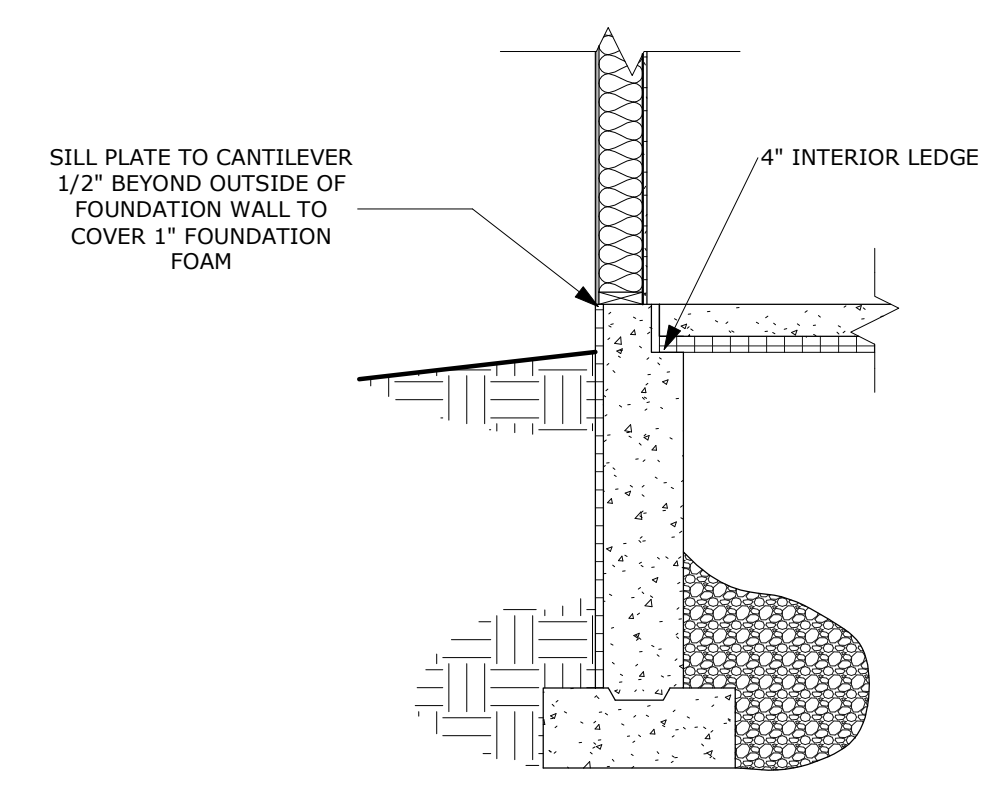
FOUNDATION PLAN
 1/4" = 1'-0" WALL HEIGHT: 4'-0"



ROOF PLAN
 1/8" = 1'-0"



TYPICAL WALL SECTION
 1/4" = 1'-0"



BOX SILL DETAIL
 1/2" = 1'-0"

FINAL PLAN

REVISIONS	DATE	BY	APP'D
PRELIMINARY PLAN	05/14/2024	MCT	
REVISIONS	05/23/2024	MCT	
REVISIONS	07/01/2024	MCT	
BID PLAN	07/25/2024	DJE	
FINAL PLAN	07/26/2024	CJP	

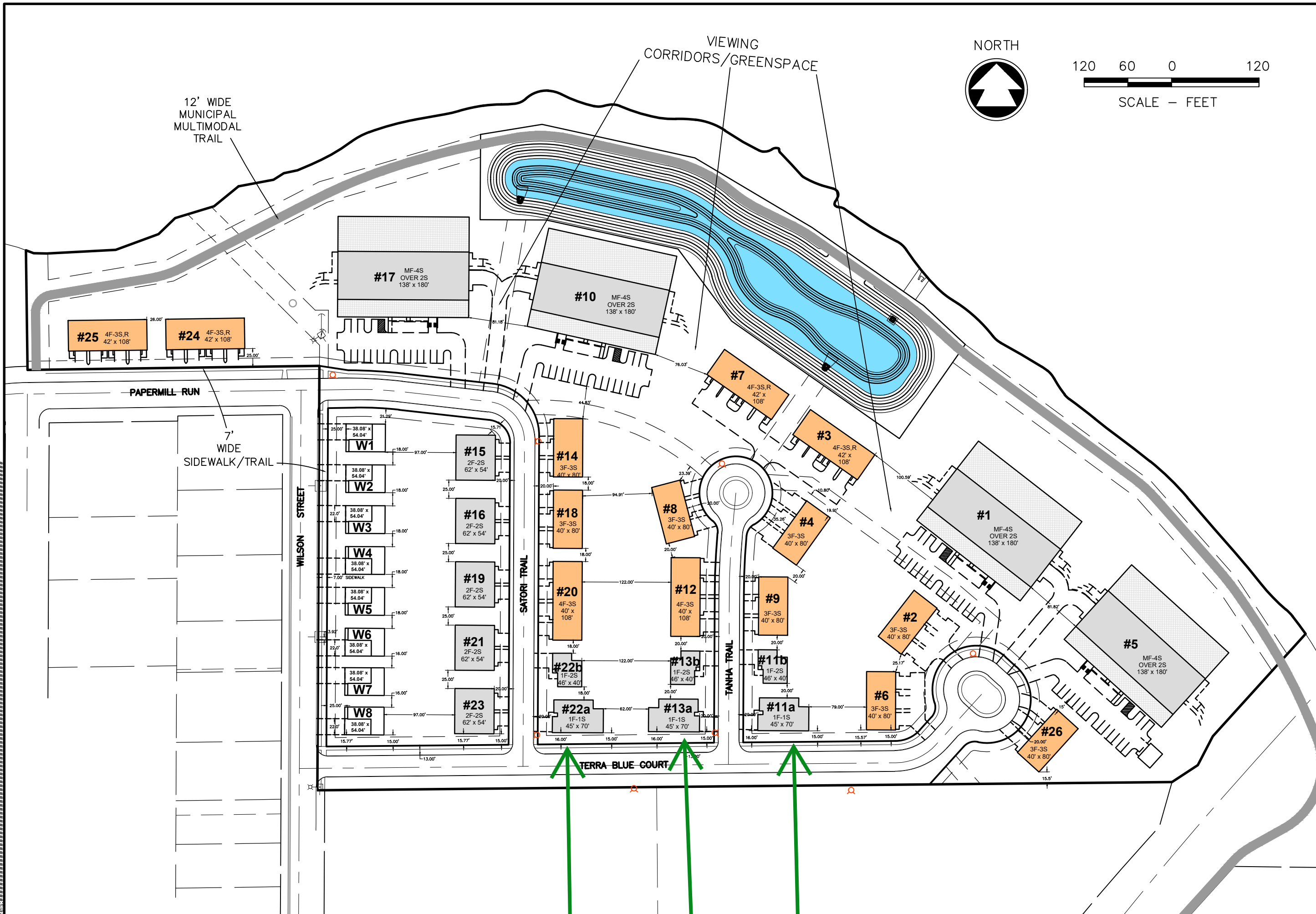
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UNIT #22A & #11A - BLUE AT THE TRAIL
 UNIT #22A & #11A
 KIMBERLY, WI 54137
 BRYAN KASTER



DESIGNER: D. EVERS
 SCALE: As indicated
 SHEET NO: **A3**
 PROJECT NO: R24-294-W

z:\apps_w\PROJECTS\K0001\092100400\CADD\Civil3D\Figures-Exhibits\Cedars East map_ZRL 3-02-2023.dwg, 11x17, Plot Date: 9/18/2023 8:45:00 AM



McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

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**THE BLUE DEVELOPMENT
V. OF KIMBERLY, OUTAGAMIE COUNTY, WI
OVERALL SITE LAYOUT**

DESIGNED ZRL	DRAWN CWK
PROJECT NO. K0001 092100400	
DATE FEB. 2023	
SHEET NO. 1	



Rendered By
DrexelTM





FRONT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"



FINAL PLAN

REVISION	DATE	BY
PRELIMINARY PLAN	05/16/2024	CJP
REVISION	05/24/2024	CJP
REVISION	06/12/2024	MCT
REVISION	06/20/2024	MCT
REVISION	06/26/2024	DJE
REVISION	07/02/2024	MCT
FINAL PLAN	07/08/2024	DJE
REV FINAL PLAN	07/19/2024	DJE

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BLUE AT THE TRAIL UNIT #23, #19, #16

BRYAN KASTER
 KIMBERLY, WI

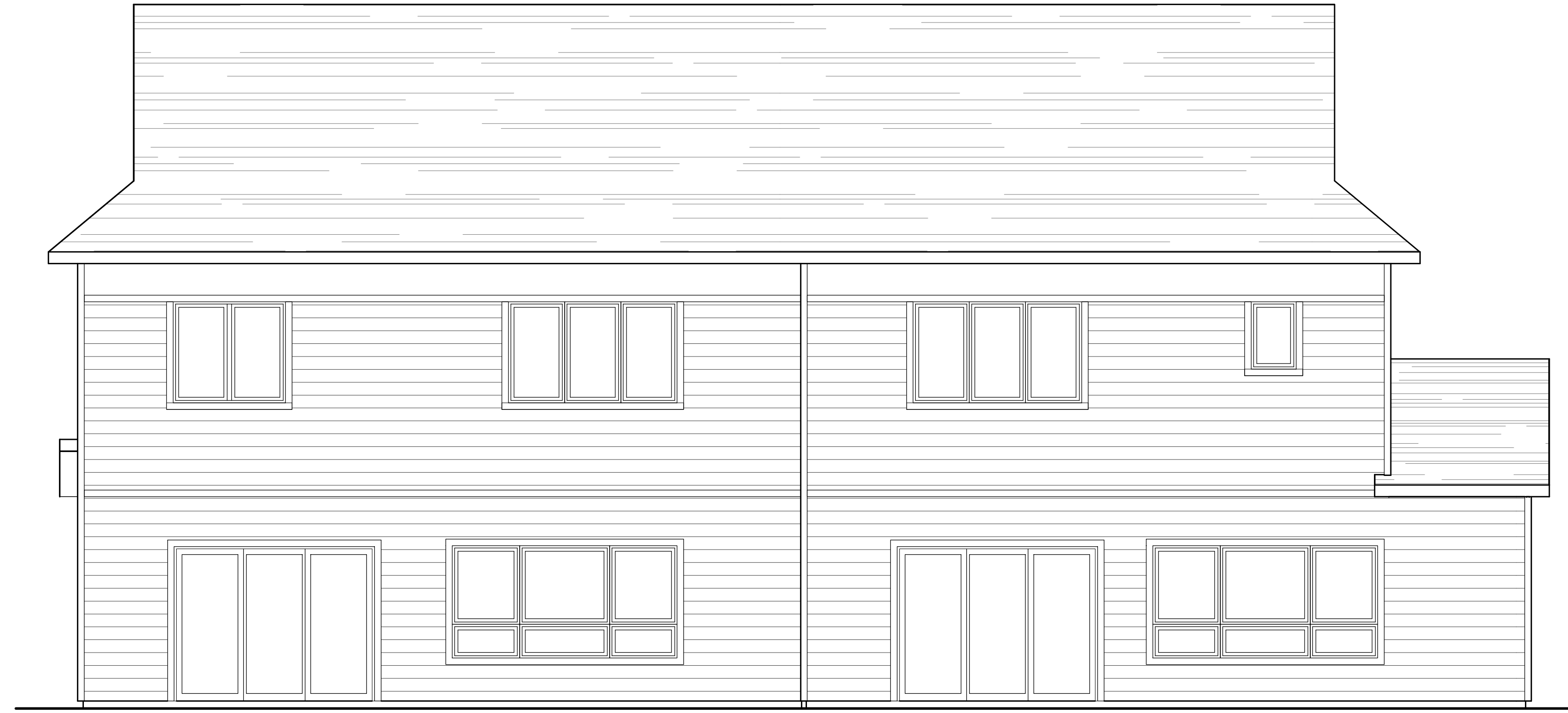
Drexel™
 DrexelTeam.com

DESIGNER: D. EVERS
 SCALE: 1/4" = 1'-0"
 SHEET NO: **A1**
 PROJECT NO: M24-306-W

UNIT #23 (350 / 352 SATORI TRAIL),

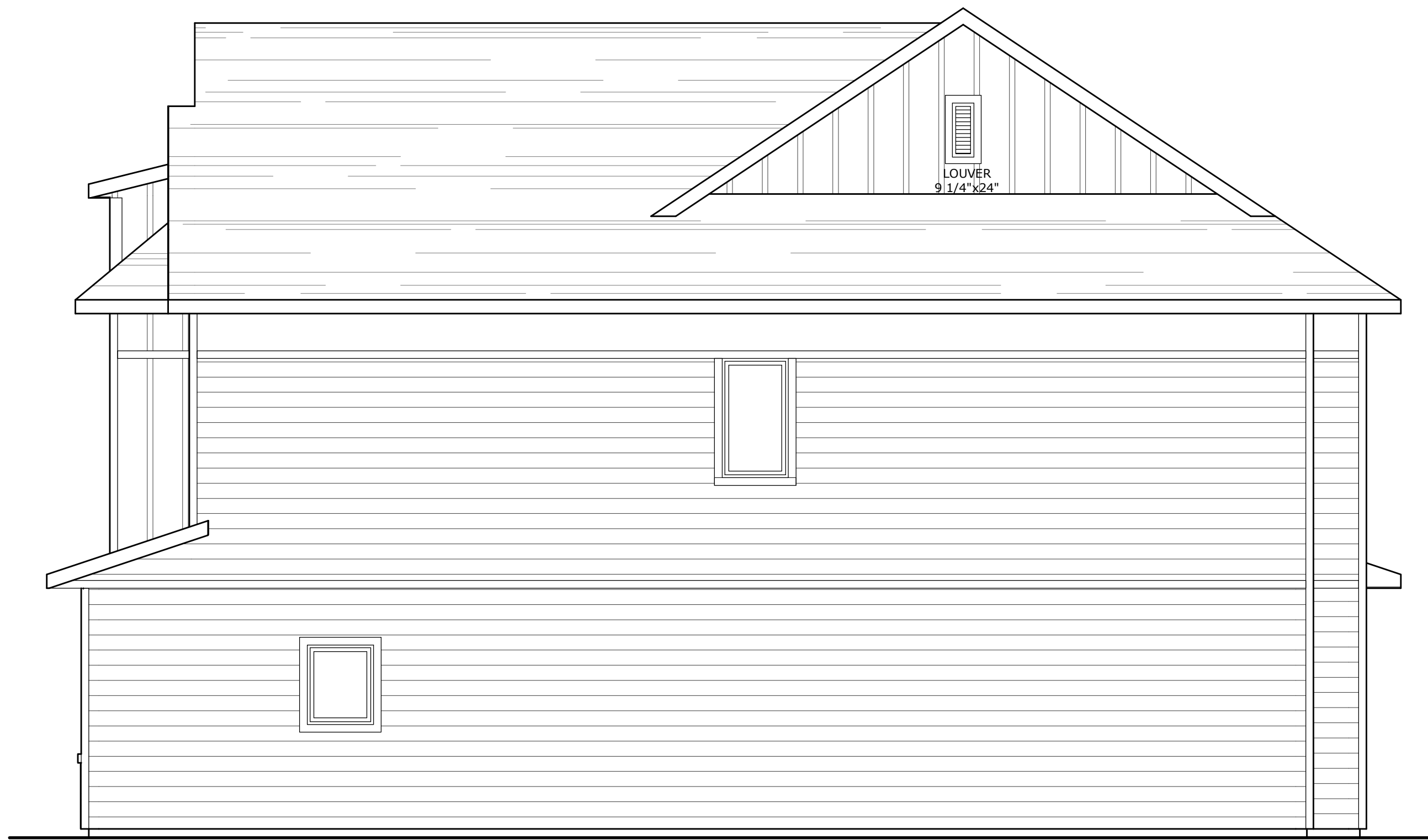
UNIT #19 (362 / 364 SATORI TRAIL),

UNIT #16 (372 / 374 SATORI TRAIL)



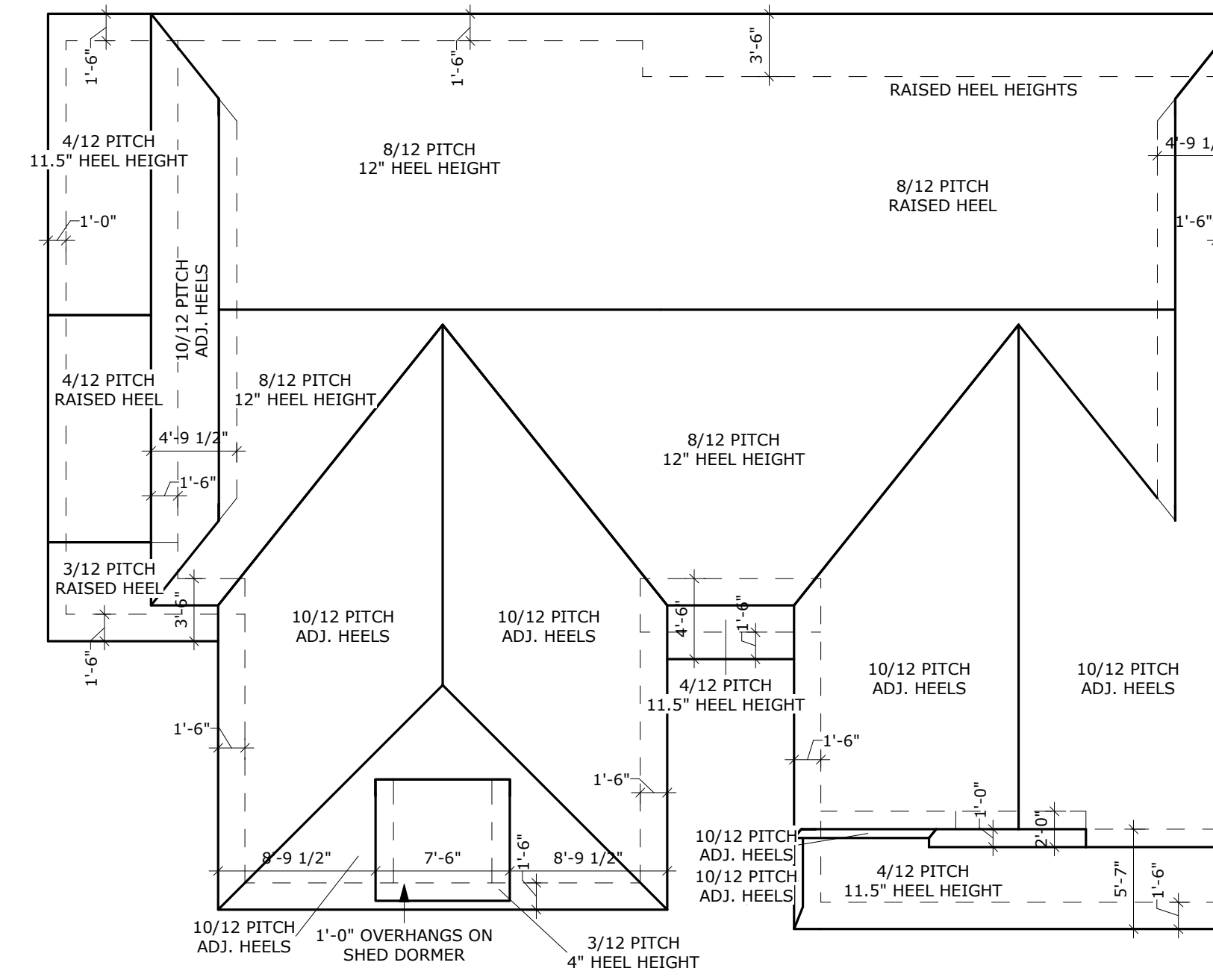
REAR ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



ROOF PLAN

1/8" = 1'-0"

REVISION	DATE	BY
PRELIMINARY PLAN	05/16/2024	CJP
REVISION	05/24/2024	CJP
REVISION	06/12/2024	MCT
REVISION	06/20/2024	MCT
REVISION	06/26/2024	DJE
REVISION	07/02/2024	MCT
FINAL PLAN	07/08/2024	DJE
REV FINAL PLAN	07/19/2024	DJE

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FINAL PLAN

**BLUE AT THE TRAIL UNIT
 #23, #19, #16**

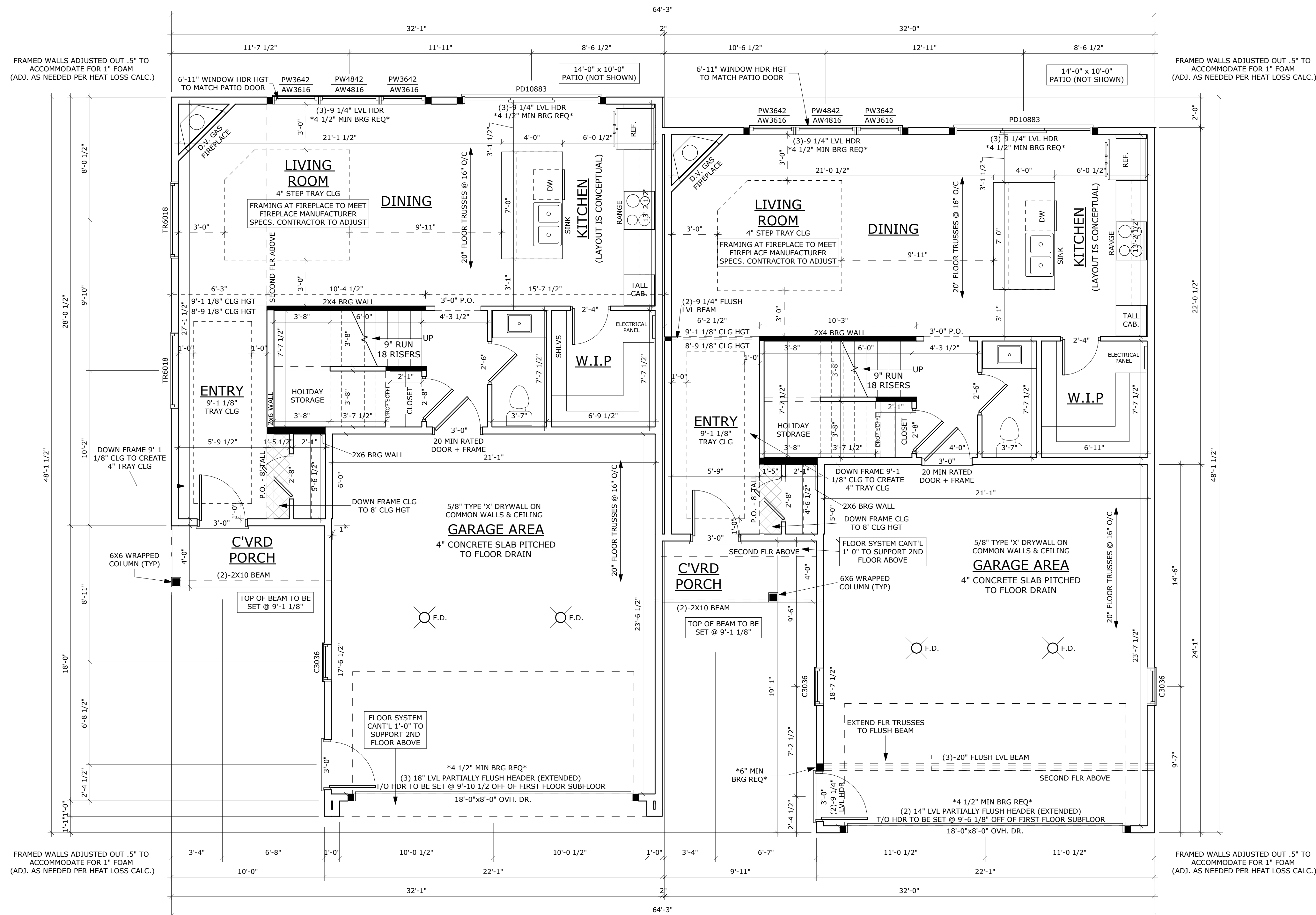
BRYAN KASTER
 KIMBERLY, WI



DESIGNER: D. EVERS
 SCALE: As indicated
 SHEET NO: **A2**
 PROJECT NO: M24-306-W

NEW HOME PLAN SPECIFICATIONS

- FOUNDATION INFORMATION**
- HOUSE FOUNDATION**
10' x 4'-0" POURED CONCRETE WALL
 - GARAGE FOUNDATION**
6' x 4'-0" POURED CONCRETE WALL
 - PORCH/PATIO FOUNDATION (UNEXCAVATED)**
6' x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
 • FINAL FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
 • MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
 • WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
 • BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.
- WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE EXTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE INTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- GARAGE**
WALL HEIGHT: 2 x 6 x 9'-1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- FLOOR SYSTEMS**
- **BASEMENT**
4" CONCRETE SLAB
 - **FIRST FLOOR**
4" CONCRETE SLAB
 - **SECOND FLOOR**
20" FLOOR TRUSSES @ 16" O.C.
STANDARD LOADING (PER SQ. FT.)
40# LL, 15# DL
ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10' DL. FOR TILE FLOOR 13' DL. FOR GYPCRETE (1.5" THICK)
20' DL. FOR FIREPLACE FACE 20' DL. FOR FIREPLACE HEARTH
25' DL. FOR GRANITE/QUARTZ
DEFLECTION: LL=L/480, TL=L/360
DURATION OF LOAD: 1.00%
- ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR: ZONE 2
STD. LOADING (PER SQ. FT.)
30# TCDL, 10# BCDL
DEFLECTION: LL=L/240, TL=L/180
DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
 - TOP OF WINDOW R.O.S.
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 WALLS=5 1/2", 2X4 WALLS =3 1/2"
 - ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
 - GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT WINDOWS, ETC.
 - ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
 - DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
 - ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
 - ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE



FIRST FLOOR PLAN
1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"

NOTE: ENGINEERING MAY BE NEEDED ON THIS HOME TO SATISFY THE WALL BRACING CODE (ALL FEES ARE RESPONSIBILITY OF CONTRACTOR OR HOMEOWNER)

FINAL PLAN

BLUE AT THE TRAIL UNIT #23, #19, #16

BRYAN KASTER

KIMBERLY, WI



DESIGNER: D. EVERS
SCALE: 1/4" = 1'-0"
SHEET NO: **A3**
PROJECT NO: M24-306-W

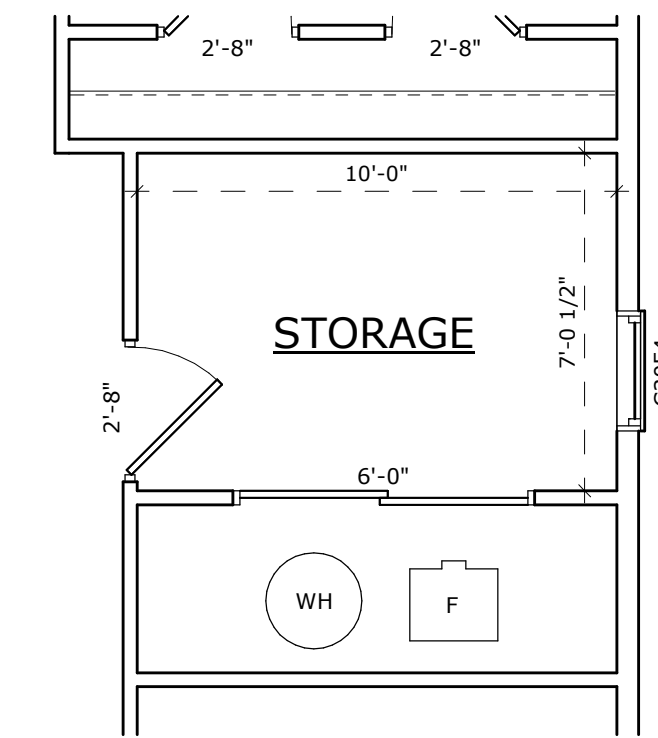
DATE	BY	REVISION
05/16/2024	CJP	PRELIMINARY PLAN
05/24/2024	CJP	REVISION
06/12/2024	MCT	REVISION
06/20/2024	MCT	REVISION
06/26/2024	DJE	REVISION
07/02/2024	MCT	REVISION
07/08/2024	DJE	FINAL PLAN
07/19/2024	DJE	REV FINAL PLAN

SIDE "A" FIRST FLOOR AREA 770 SF
 SIDE "A" SECOND FLOOR AREA 1112 SF
TOTAL AREA 1883 SF
 SIDE "A" GARAGE FLOOR AREA 527 SF

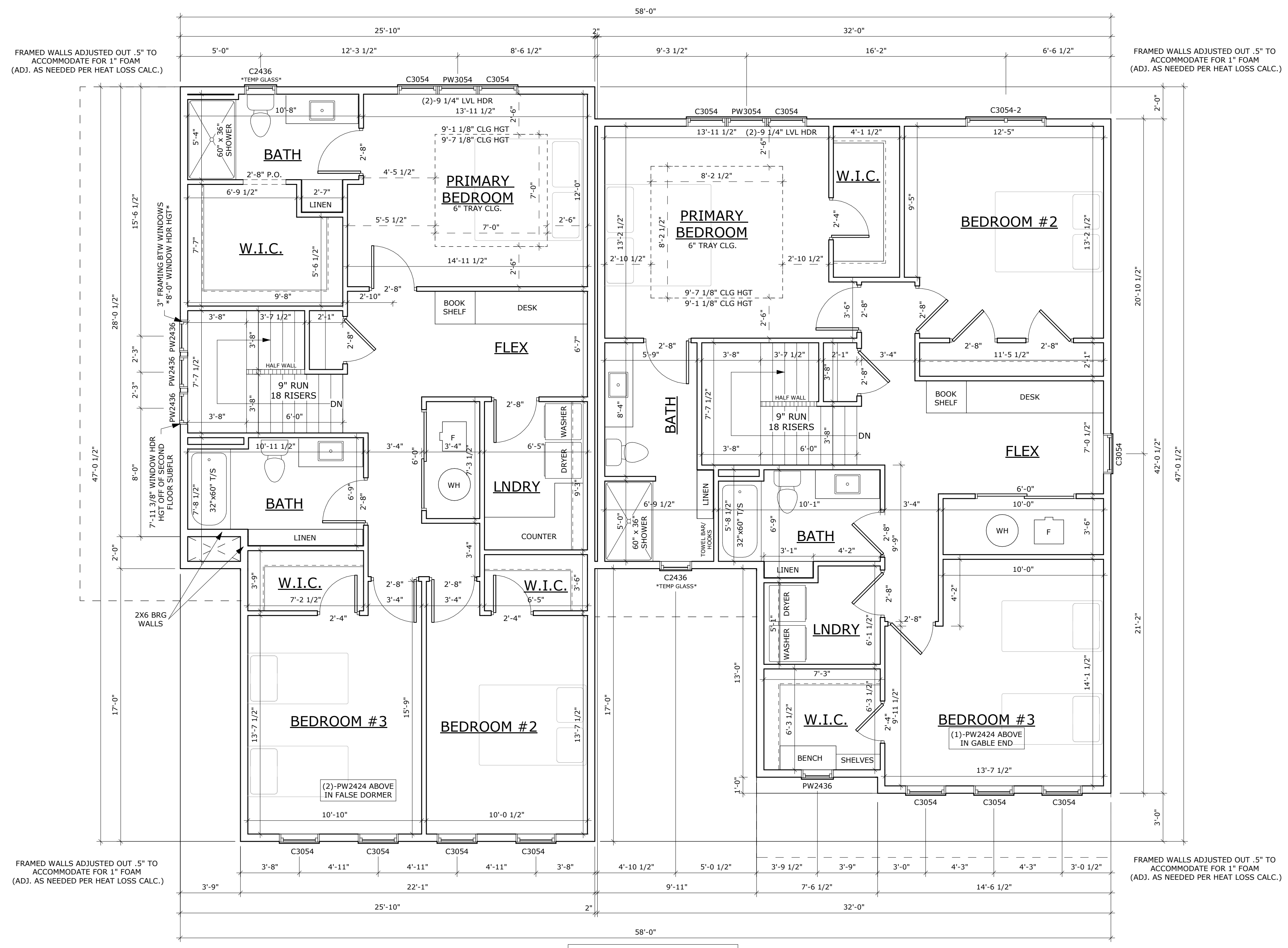
SIDE "B" FIRST FLOOR AREA 758 SF
 SIDE "B" SECOND FLOOR AREA 1155 SF
TOTAL AREA 1912 SF
 SIDE "B" GARAGE FLOOR AREA 527 SF

NEW HOME PLAN SPECIFICATIONS

- FOUNDATION INFORMATION**
- HOUSE FOUNDATION**
10" x 4'-0" POURED CONCRETE WALL
 - GARAGE FOUNDATION**
6" x 4'-0" POURED CONCRETE WALL
 - PORCH/PATIO FOUNDATION (UNEXCAVATED)**
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
 - WALL THICKNESS FOR REPRESENTATION ONLY - MASON/CONTRACTOR TO VERIFY
 - FINAL FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
 - MASON TO LOCATE PILLASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
 - WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
 - BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.
- WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE EXTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE INTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- GARAGE**
- WALL HEIGHT: 2 x 6 x 9'-1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- FLOOR SYSTEMS**
- BASEMENT**
4" CONCRETE SLAB
 - FIRST FLOOR**
4" CONCRETE SLAB
 - SECOND FLOOR**
20" FLOOR TRUSS @ 16" O.C.
STANDARD LOADING (PER SQ. FT.)
40# LL, 15# DL
ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10# DL FOR TILE FLOOR 13# DL FOR GYPCRETE (1.5" THICK)
20# DL FOR FIREPLACE FACE 20# DL FOR FIREPLACE HEARTH
25# DL FOR GRANITE/QUARTZ
DEFLECTION: LL=L/480, TL=L/360
DURATION OF LOAD: 1.00%
- ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @ 24" O.C. DESIGNED FOR: ZONE 2
 - STD. LOADING (PER SQ. FT.)
30# TCDL, 10# TCCL, 10# BCDL
 - DEFLECTION: LL=L/240, TL=L/180
 - DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
 - TOP OF WINDOW R.O.S.
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
 - MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 BRG WALLS = 5 1/2", 2X4 WALLS = 3 1/2"
 - ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
 - GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT WINDOWS, ETC.
 - ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
 - DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
 - ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
 - ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

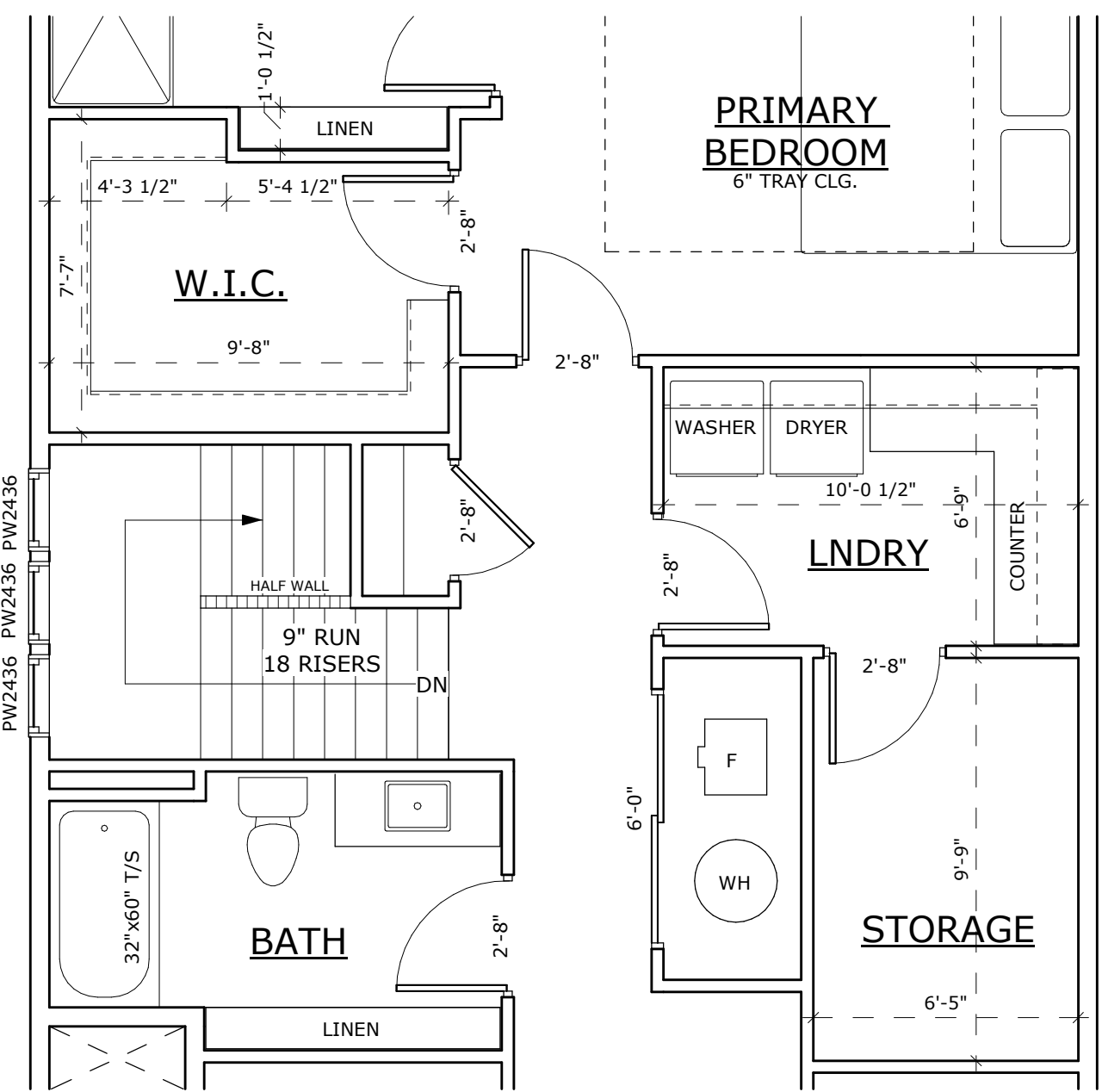


SIDE "B" OPTIONAL STORAGE
1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"



SECOND FLOOR PLAN
1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"

NOTE: ENGINEERING MAY BE NEEDED ON THIS HOME TO SATISFY THE WALL BRACING CODE (ALL FEES ARE RESPONSIBILITY OF CONTRACTOR OR HOMEOWNER)



SIDE "A" OPTIONAL LNDRY/STORAGE
1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"

SIDE "A" FIRST FLOOR AREA	770 SF
SIDE "A" SECOND FLOOR AREA	1112 SF
TOTAL AREA	1883 SF
SIDE "A" GARAGE FLOOR AREA	527 SF

SIDE "B" FIRST FLOOR AREA	758 SF
SIDE "B" SECOND FLOOR AREA	1155 SF
TOTAL AREA	1912 SF
SIDE "B" GARAGE FLOOR AREA	527 SF

FINAL PLAN

BLUE AT THE TRAIL UNIT #23, #19, #16

BRYAN KASTER

KIMBERLY WI

DATE	DESCRIPTION	BY
05/16/2024	CJP PRELIMINARY PLAN	CJP
05/24/2024	CJP REVISION	CJP
06/12/2024	MCT REVISION	MCT
06/26/2024	DJE REVISION	DJE
07/02/2024	MCT REVISION	MCT
07/08/2024	DJE FINAL PLAN	DJE
07/19/2024	DJE REV FINAL PLAN	DJE

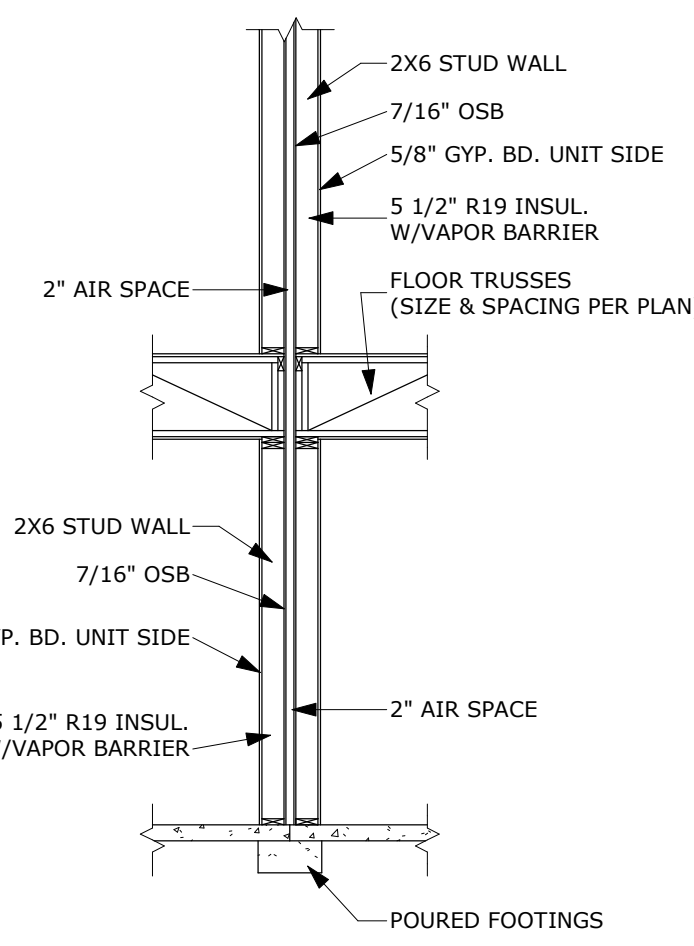
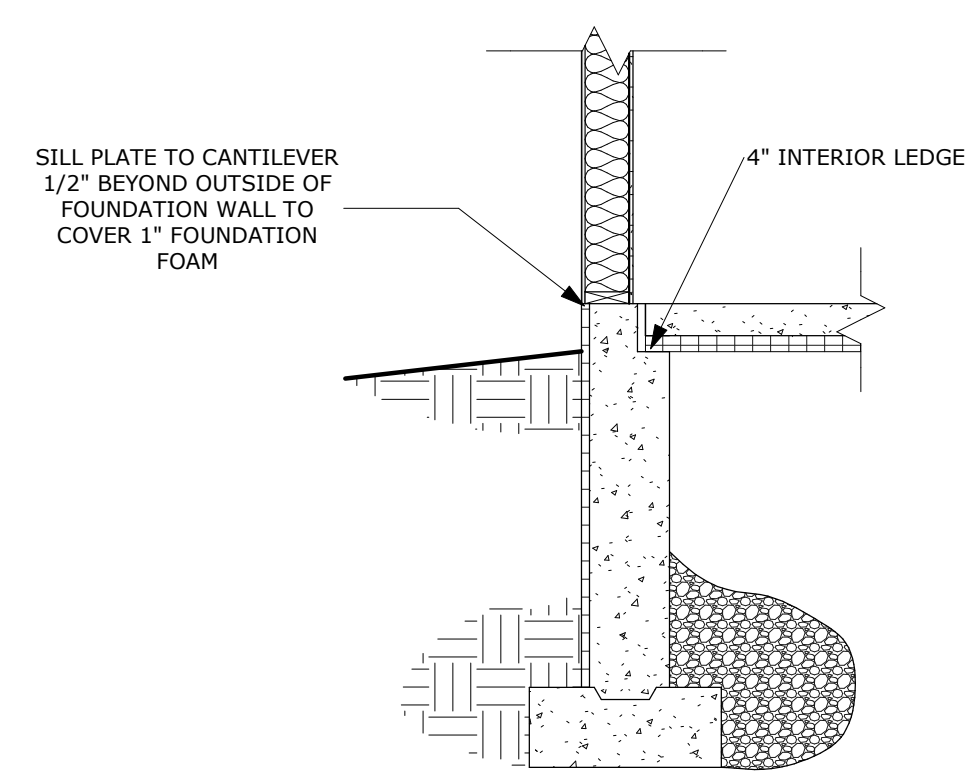
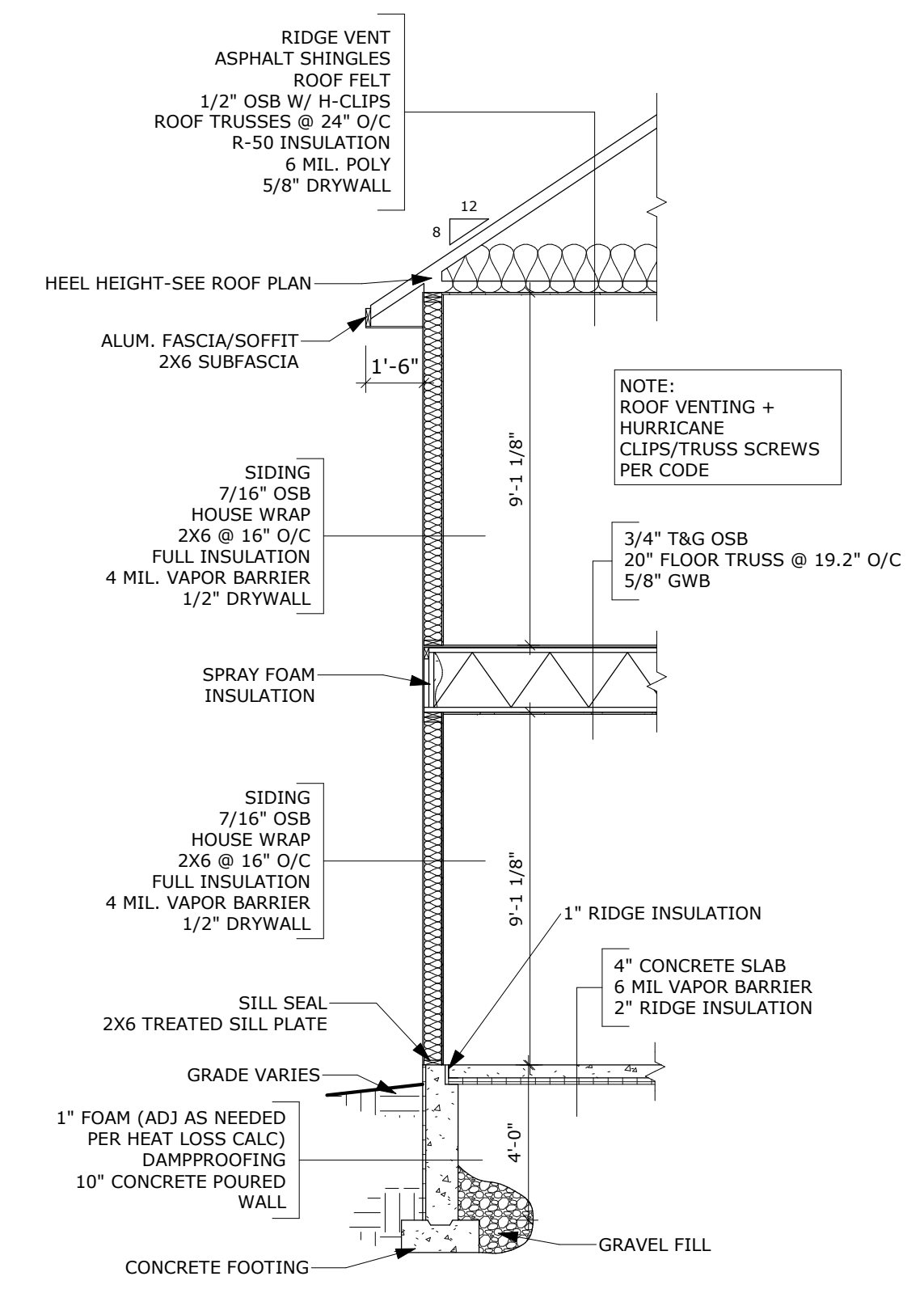
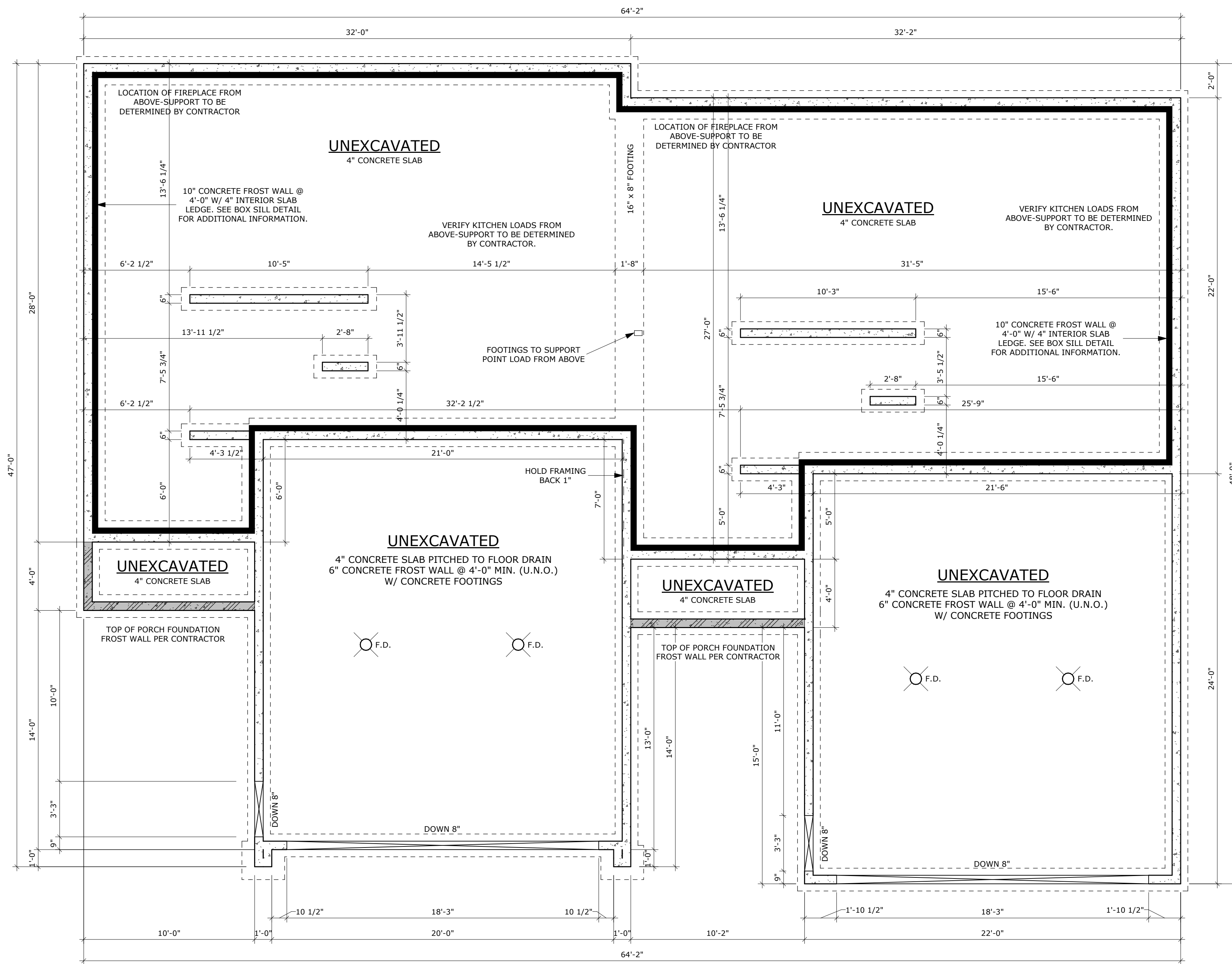
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DESIGNER:	D. EVERS
SCALE:	1/4" = 1'-0"
SHEET NO.:	A4
PROJECT NO.:	M24-306-W

NEW HOME PLAN SPECIFICATIONS

- FOUNDATION INFORMATION**
- **HOUSE FOUNDATION**
10" x 4'-0" POURED CONCRETE WALL
 - **GARAGE FOUNDATION**
6" x 4'-0" POURED CONCRETE WALL
 - **PORCH/PATIO FOUNDATION (UNEXCAVATED)**
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
 - WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
 - FINAL FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
 - MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
 - WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
 - BEARING WALLS TO SIT ON MIN. 16" x 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.
- WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
 - **HOUSE EXTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - **HOUSE INTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - **GARAGE**
WALL HEIGHT: 2 x 6 x 9'-1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- FLOOR SYSTEMS**
- **BASEMENT**
4" CONCRETE SLAB
 - **FIRST FLOOR**
4" CONCRETE SLAB
 - **SECOND FLOOR**
20" FLOOR TRUSS @ 16" O.C.
STANDARD LOADING (PER SQ. FT.)
40# LL, 15# DL
ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10# DL FOR TILE FLOOR 13# DL FOR GYPCRETE (1.5" THICK)
20# DL FOR FIREPLACE FACE 20# DL FOR FIREPLACE HEARTH
25# DL FOR GRANITE/QUARTZ
DEFLECTION: LL=L/480, TL=L/180
DURATION OF LOAD: 1.00%
- ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR: ZONE 2
 - STD. LOADING (PER SQ. FT.)
30# TCCL, 10# TCDL, 10# BCDL
DEFLECTION: LL=L/240, TL=L/180
DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
 - TOP OF WINDOW R.O.S.
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 WALLS=5 1/2", 2X4 WALLS =3 1/2"
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 - ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE



SIDE "A" FIRST FLOOR AREA	770 SF
SIDE "A" SECOND FLOOR AREA	1112 SF
TOTAL AREA	1883 SF
SIDE "A" GARAGE FLOOR AREA	527 SF

SIDE "B" FIRST FLOOR AREA	758 SF
SIDE "B" SECOND FLOOR AREA	1155 SF
TOTAL AREA	1912 SF
SIDE "B" GARAGE FLOOR AREA	527 SF

FINAL PLAN

BLUE AT THE TRAIL UNIT #23, #19, #16

BRYAN KASTER

KIMBERLY, WI

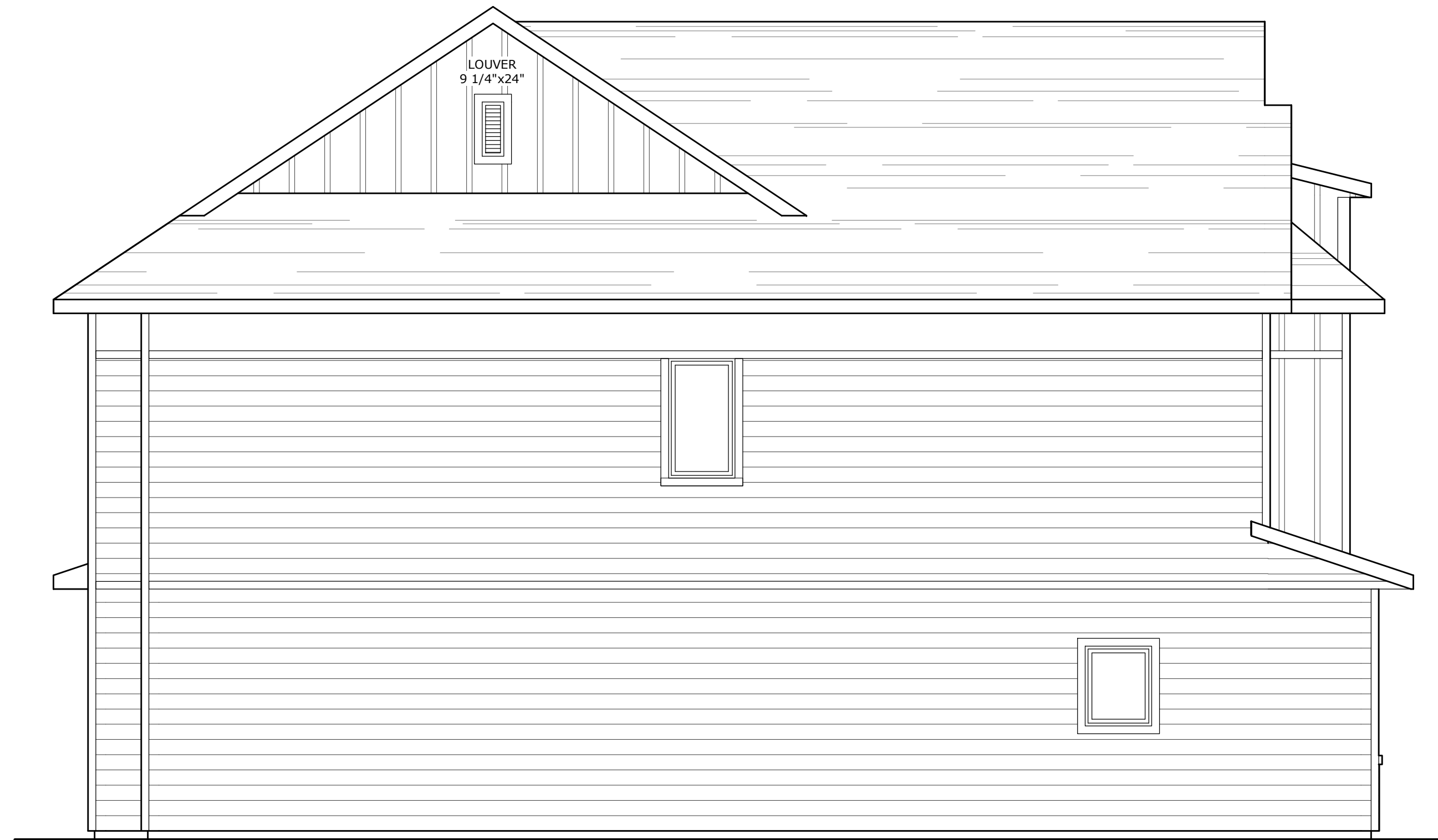


DESIGNER:	D. EVERS
SCALE:	As indicated
SHEET NO.:	A5
PROJECT NO.:	M24-306-W

REVISION	DATE	BY	DESCRIPTION
PRELIMINARY PLAN	05/16/2024	CJP	
REVISION	05/24/2024	CJP	
REVISION	06/12/2024	MCT	
REVISION	06/20/2024	MCT	
REVISION	06/26/2024	DJE	
REVISION	07/02/2024	DJE	
FINAL PLAN	07/08/2024	MCT	
REV FINAL PLAN	07/19/2024	DJE	



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"



yV@ o° u\k@k° @ yV@ o° u\k@k° @

FINAL PLAN

**BLUE AT THE TRAIL UNIT
#21, #15**

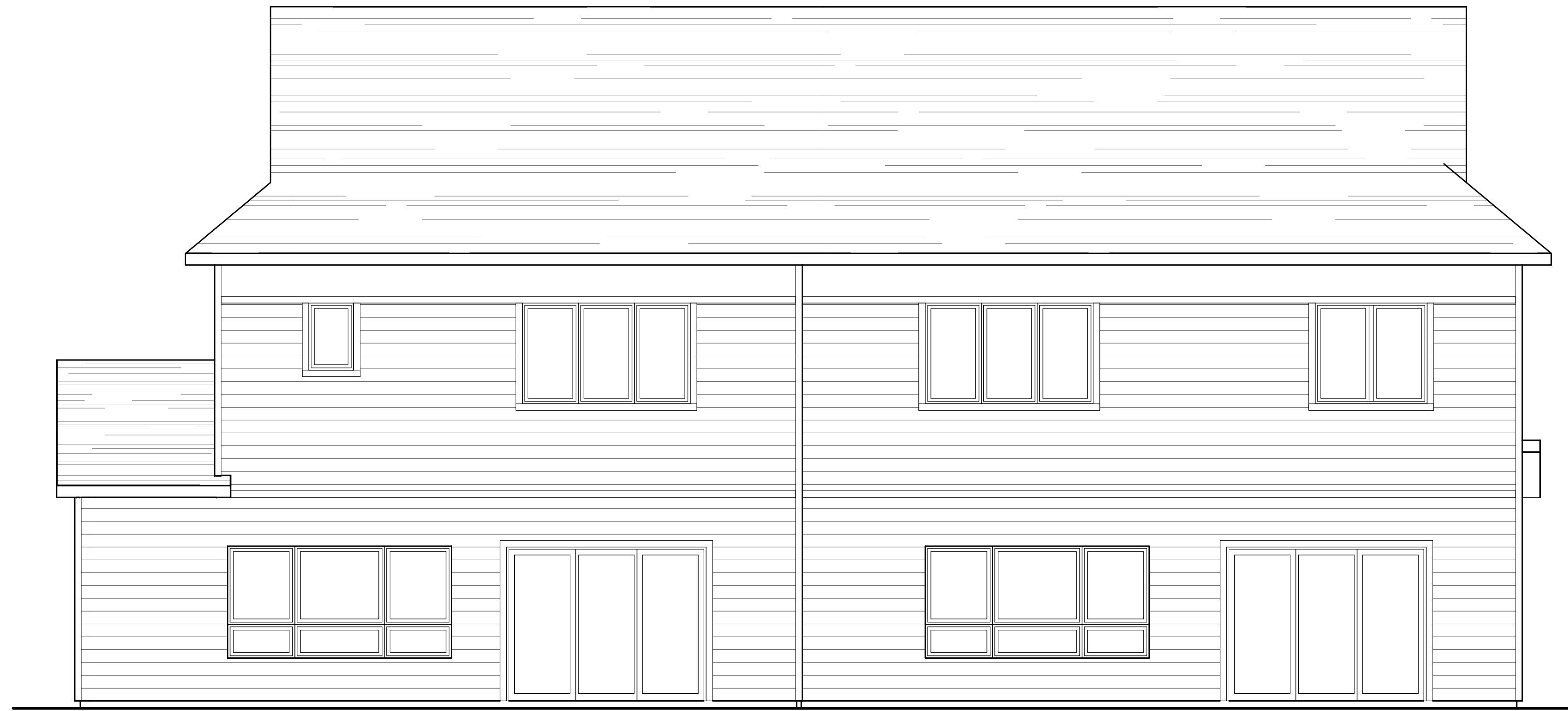
BRYAN KASTER

KIMBERLY, WI



DESIGNER: D. EVERS
SCALE: 1/4" = 1'-0"
SHEET NO: **A1**
PROJECT NO: M24-307-W

FINAL PLAN	07/19/2024	DJE
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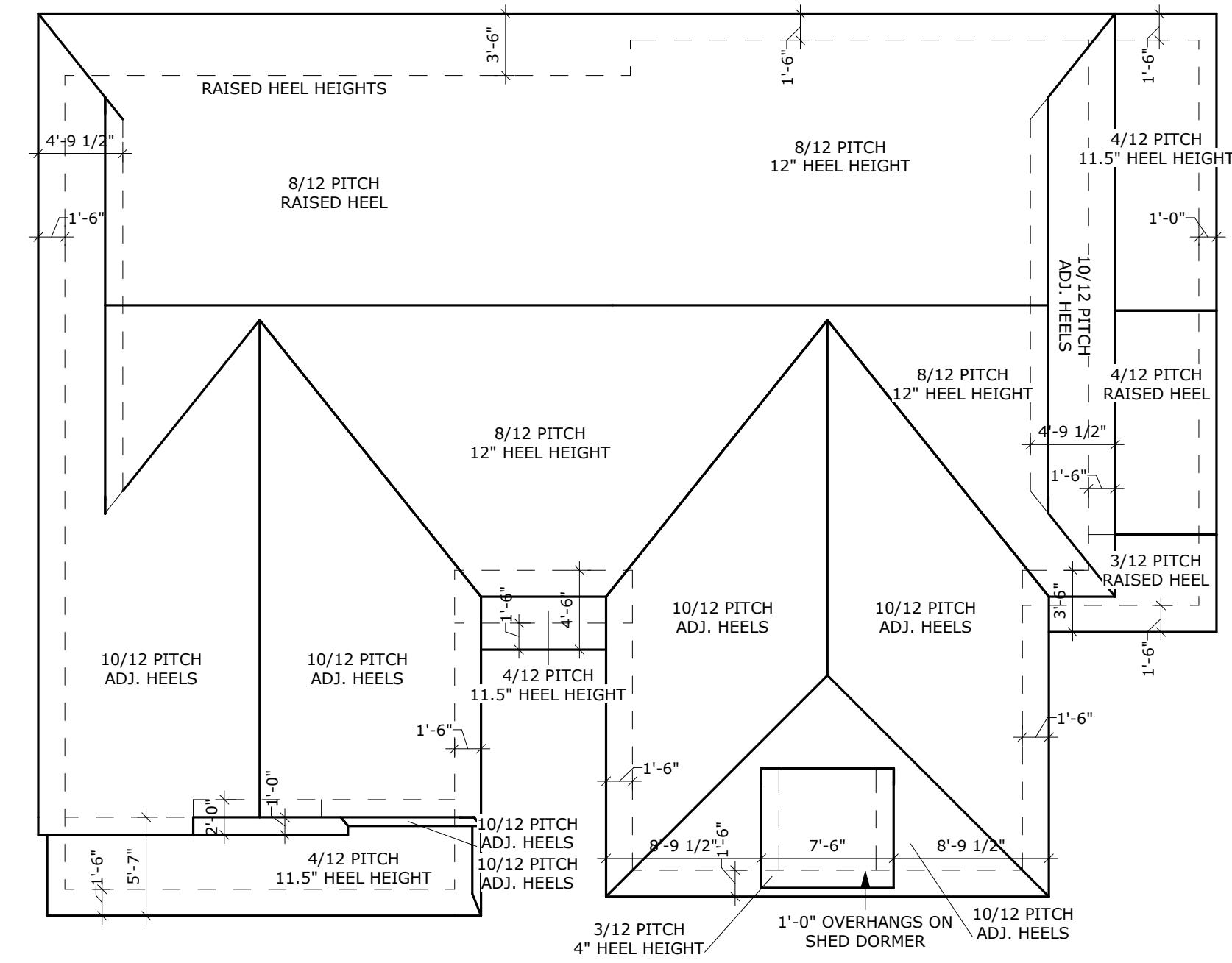
REAR ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



ROOF PLAN

1/8" = 1'-0"

FINAL PLAN	07/19/2024	DJE
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 ARCHITECT: BRYAN KASTER
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FINAL PLAN

**BLUE AT THE TRAIL UNIT
 #21, #15**

KIMBERLY, WI

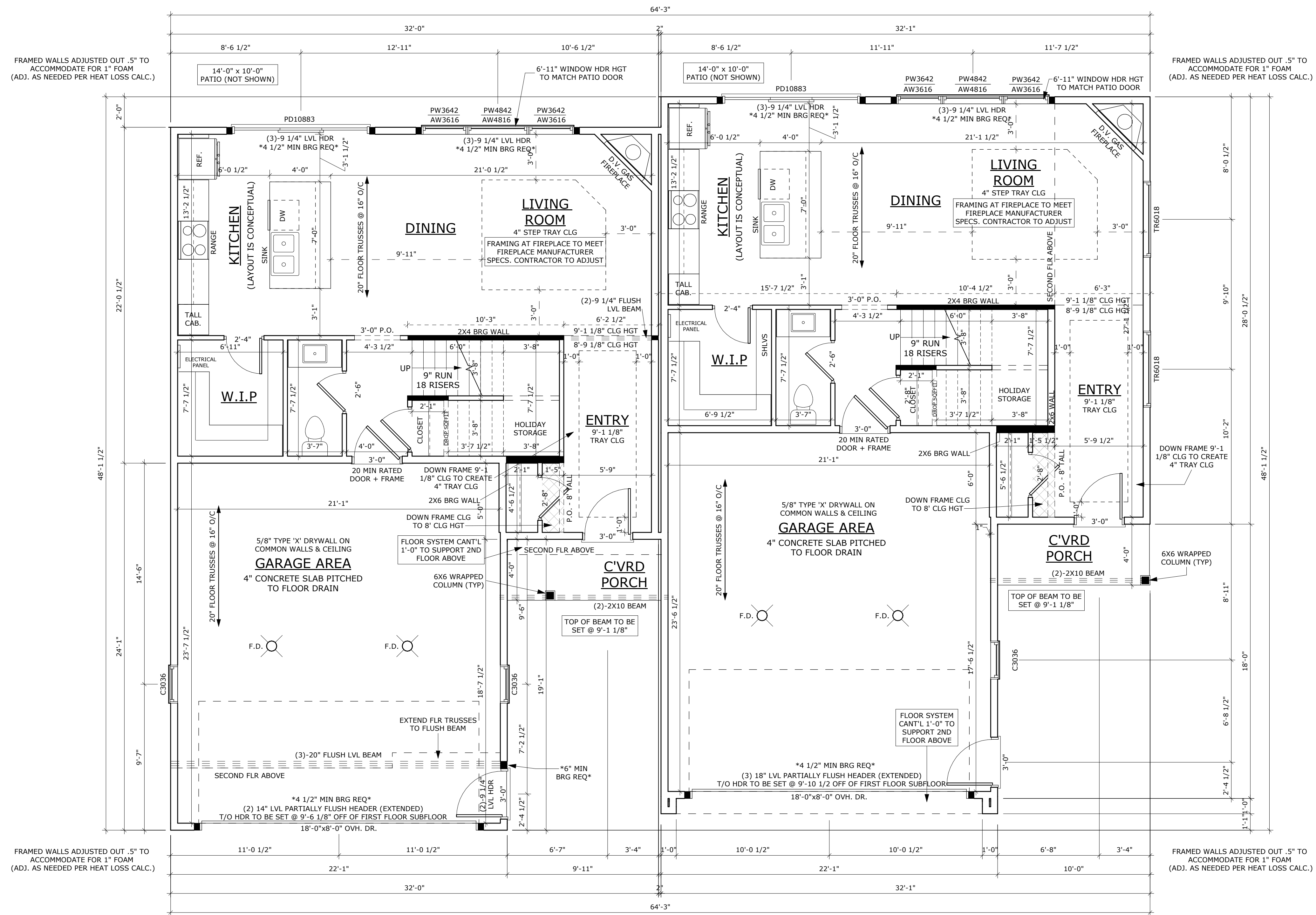
BRYAN KASTER



DESIGNER: D. EVERS	SCALE: As indicated	SHEET NO.: A2	PROJECT NO.: M24-307-W
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NEW HOME PLAN SPECIFICATIONS

- FOUNDATION INFORMATION**
- HOUSE FOUNDATION**
10" x 4'-0" POURED CONCRETE WALL
 - GARAGE FOUNDATION**
6" x 4'-0" POURED CONCRETE WALL
 - PORCH/PATIO FOUNDATION (UNEXCAVATED)**
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
 - WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
 - FINAL FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
 - MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
 - WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
 - BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.
- WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE EXTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 6 x 9' 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE INTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR WALL HEIGHT: 2 x 4 x 9' 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - GARAGE**
WALL HEIGHT: 2 x 6 x 9'-1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- FLOOR SYSTEMS**
- BASEMENT**
4" CONCRETE SLAB
 - FIRST FLOOR**
4" CONCRETE SLAB
 - SECOND FLOOR**
20" FLOOR TRUSS @ 16" O.C.
STANDARD LOADING (PER SQ. FT.)
40# LL, 15# DL
ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10# DL FOR TILE FLOOR 13# DL FOR GYPCRETE (1.5" THICK)
20# DL FOR FIREPLACE FACE 20# DL FOR FIREPLACE HEARTH
25# DL FOR GRANITE/QUARTZ
DEFLECTION: LL=L/480, TL=L/360
DURATION OF LOAD: 1.00%
- ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR: ZONE 2
 - STD. LOADING (PER SQ. FT.)
30# TCDL, 10# TCDL, 10# BCDL
 - DEFLECTION: LL=L/240, TL=L/180
DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
 - TOP OF WINDOW R.O.S.
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 WALLS=5 1/2", 2X4 WALLS =3 1/2"
 - ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
 - GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT WINDOWS, ETC.
 - ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
 - DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
 - ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
 - ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE



FIRST FLOOR PLAN

1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"

NOTE: ENGINEERING MAY BE NEEDED ON THIS HOME TO SATISFY THE WALL BRACING CODE (ALL FEES ARE RESPONSIBILITY OF CONTRACTOR OR HOMEOWNER)

FINAL PLAN

BLUE AT THE TRAIL UNIT #21, #15

DESIGNER:	D. EVERS
SCALE:	1/4" = 1'-0"
SHEET NO.:	A3
PROJECT NO.:	M24-307-W
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FINAL PLAN	DJE

BRYAN KASTER

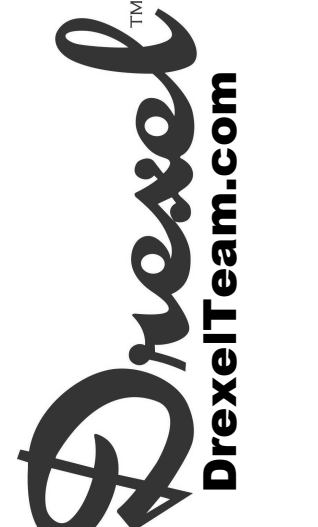
KIMBERLY WI

SIDE "B" FIRST FLOOR AREA 758 SF
 SIDE "B" SECOND FLOOR AREA 1155 SF
TOTAL AREA 1912 SF

SIDE "B" GARAGE FLOOR AREA 527 SF

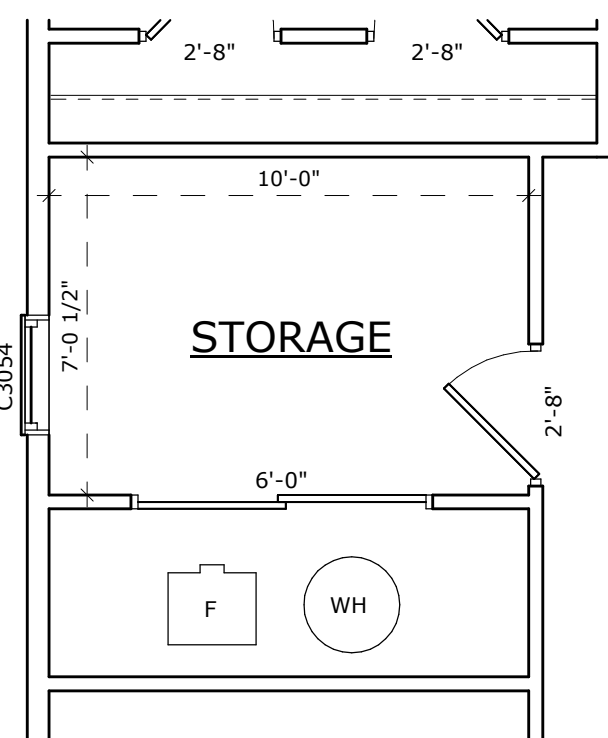
SIDE "A" FIRST FLOOR AREA 770 SF
 SIDE "A" SECOND FLOOR AREA 1112 SF
TOTAL AREA 1883 SF

SIDE "A" GARAGE FLOOR AREA 527 SF

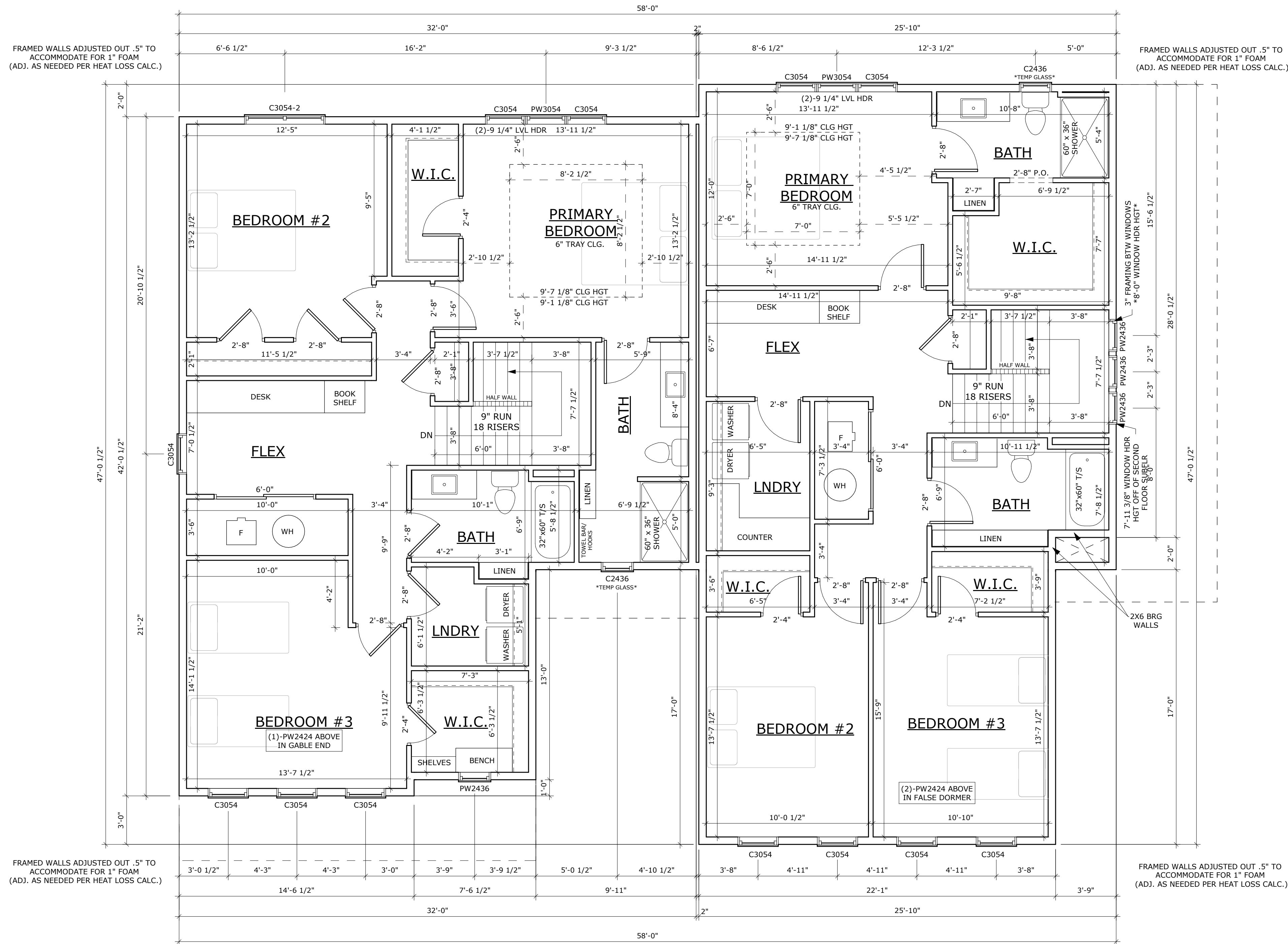


NEW HOME PLAN SPECIFICATIONS

- FOUNDATION INFORMATION**
- HOUSE FOUNDATION**
10" x 4'-0" POURED CONCRETE WALL
- GARAGE FOUNDATION**
6" x 4'-0" POURED CONCRETE WALL
- PORCH/PATIO FOUNDATION (UNEXCAVATED)**
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY - MASON/CONTRACTOR TO VERIFY
- FINAL FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
- MASON TO LOCATE PILLASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL - MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.
- WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- HOUSE EXTERIOR**
- FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- SECOND FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- HOUSE INTERIOR**
- FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- SECOND FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- GARAGE**
- WALL HEIGHT: 2 x 6 x 9'-1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- FLOOR SYSTEMS**
- BASEMENT**
4" CONCRETE SLAB
- FIRST FLOOR**
4" CONCRETE SLAB
- SECOND FLOOR**
20" FLOOR TRUSS @ 16" O.C.
STANDARD LOADING (PER SQ. FT.)
40# LL, 15# DL
ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10# DL FOR TILE FLOOR 13# DL FOR GYPCRETE (1.5" THICK)
20# DL FOR FIREPLACE FACE 20# DL FOR FIREPLACE HEARTH
25# DL FOR GRANITE/QUARTZ
DEFLECTION: LL=L/480, TL=L/360
DURATION OF LOAD: 1.00%
- ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR: ZONE 2
STD. LOADING (PER SQ. FT.)
30# TCDL, 10# TCCL, 10# BCCL
DEFLECTION: LL=L/240, TL=L/180
DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
- 2X6 WALLS=5 1/2", 2X4 WALLS = 3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
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- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

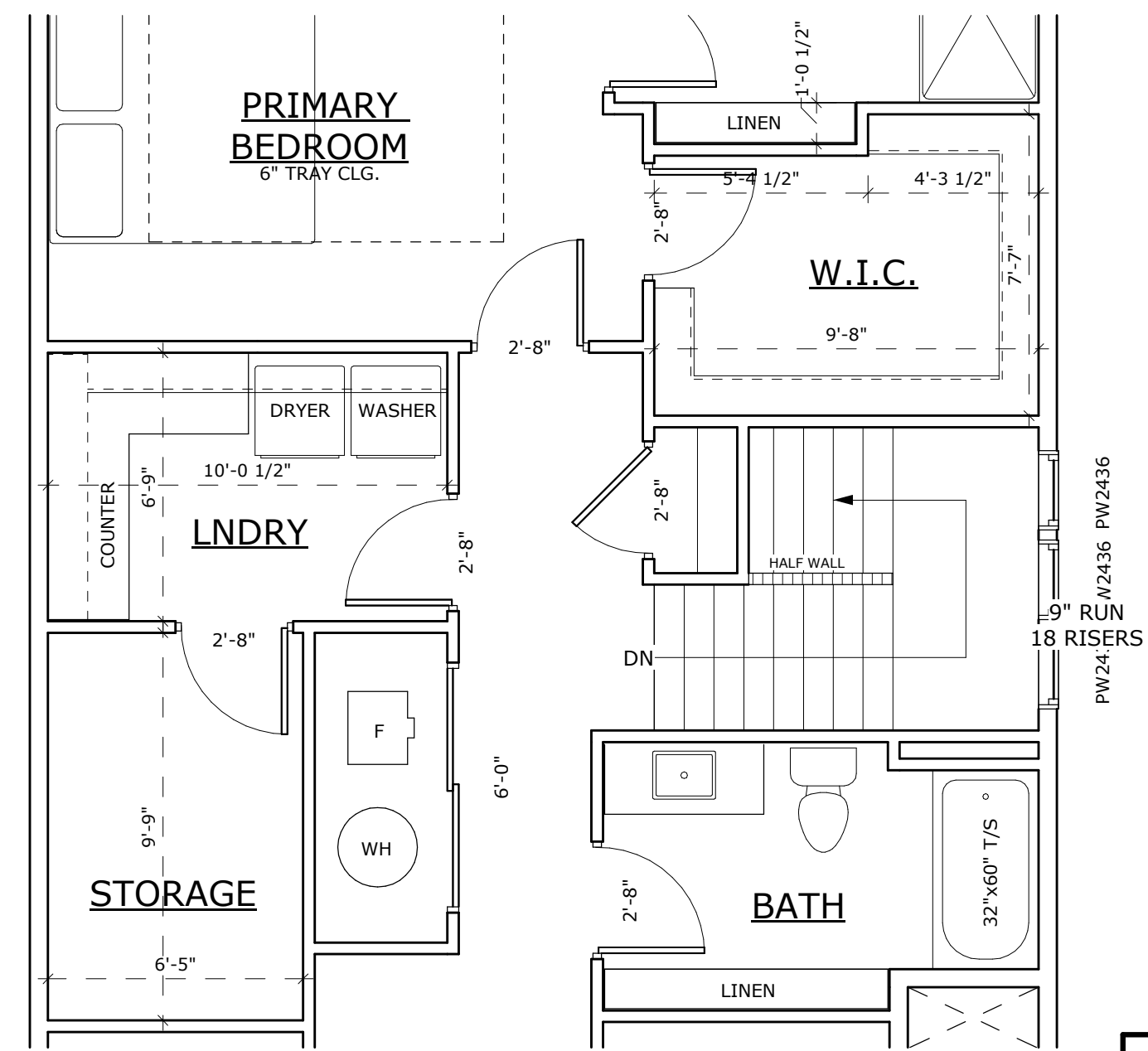


SIDE "B" OPTIONAL STORAGE
1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"



SECOND FLOOR PLAN
1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"

NOTE: ENGINEERING MAY BE NEEDED ON THIS HOME TO SATISFY THE WALL BRACING CODE (ALL FEES ARE RESPONSIBILITY OF CONTRACTOR OR HOMEOWNER)



SIDE "A" OPTIONAL LNDRY/STORAGE
1/4" = 1'-0" WALL HEIGHT: 9'-1 1/8"

FINAL PLAN

BLUE AT THE TRAIL UNIT #21, #15

BRYAN KASTER

KIMBERLY WI

07/19/2024

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FINAL PLAN

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SIDE "B" FIRST FLOOR AREA	758 SF
SIDE "B" SECOND FLOOR AREA	1155 SF
TOTAL AREA	1912 SF
SIDE "B" GARAGE FLOOR AREA	527 SF

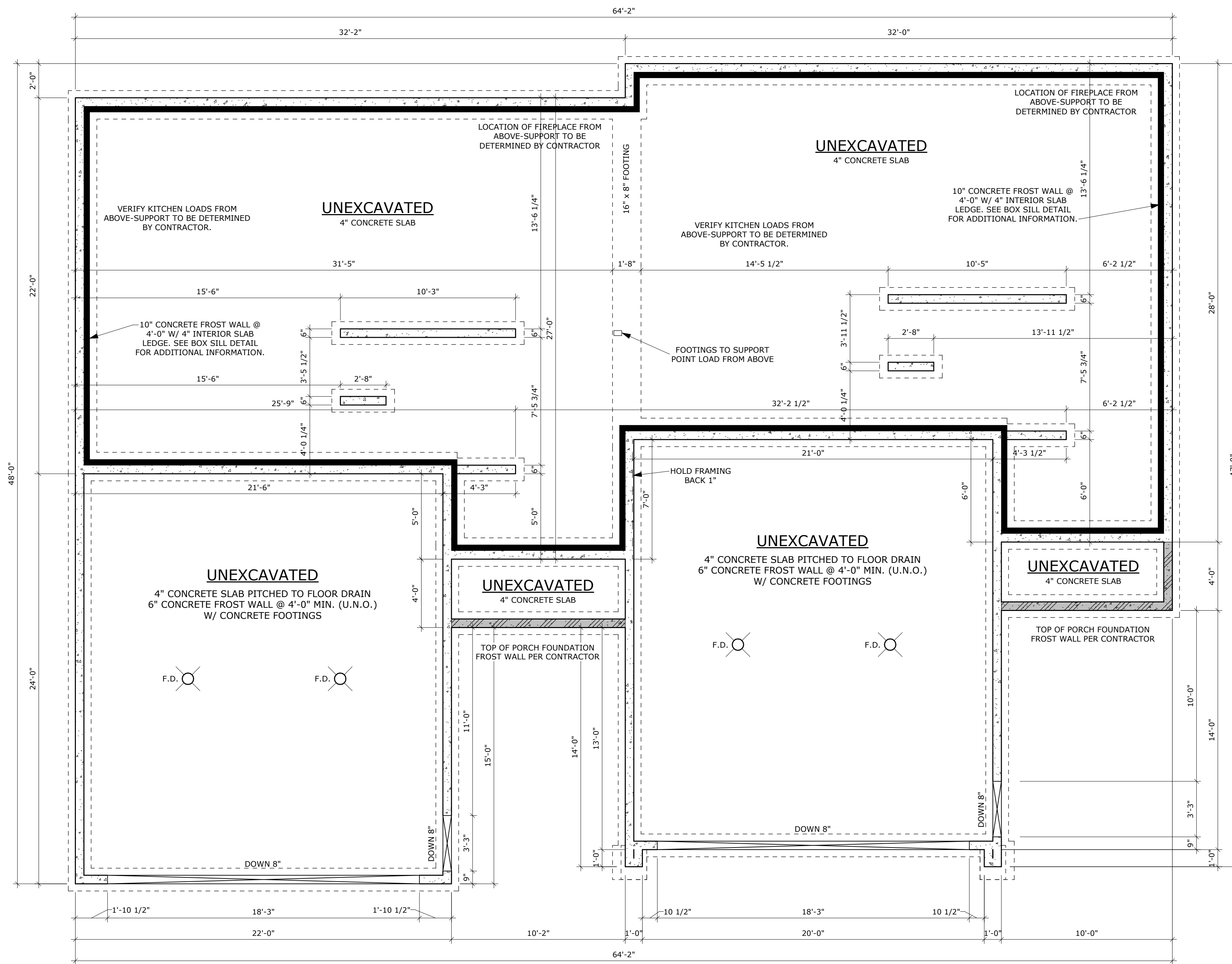
SIDE "A" FIRST FLOOR AREA	770 SF
SIDE "A" SECOND FLOOR AREA	1112 SF
TOTAL AREA	1883 SF
SIDE "A" GARAGE FLOOR AREA	527 SF



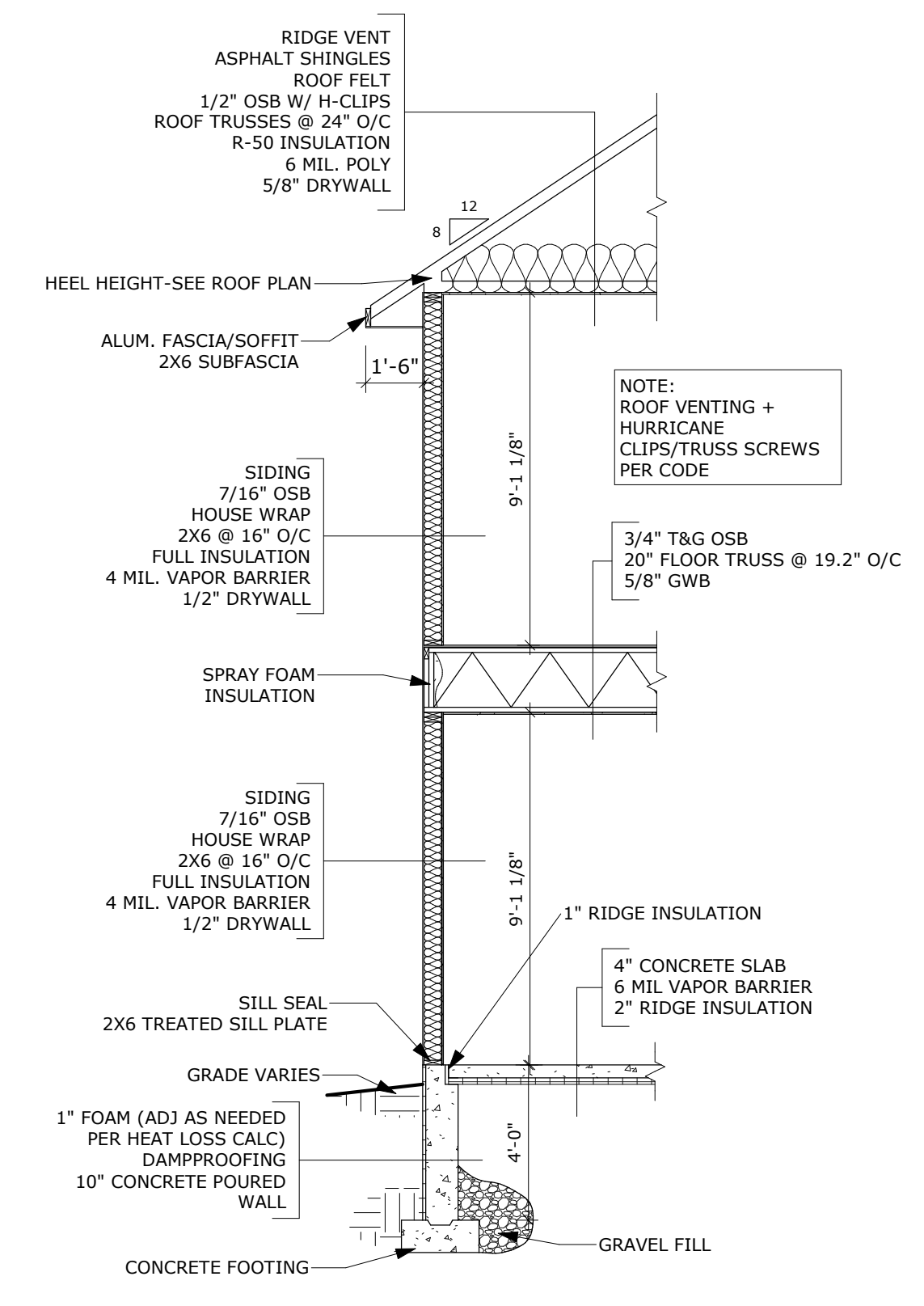
DESIGNER: D. EVERS
SCALE: 1/4" = 1'-0"
SHEET NO: A4
PROJECT NO: M24-307-W

NEW HOME PLAN SPECIFICATIONS

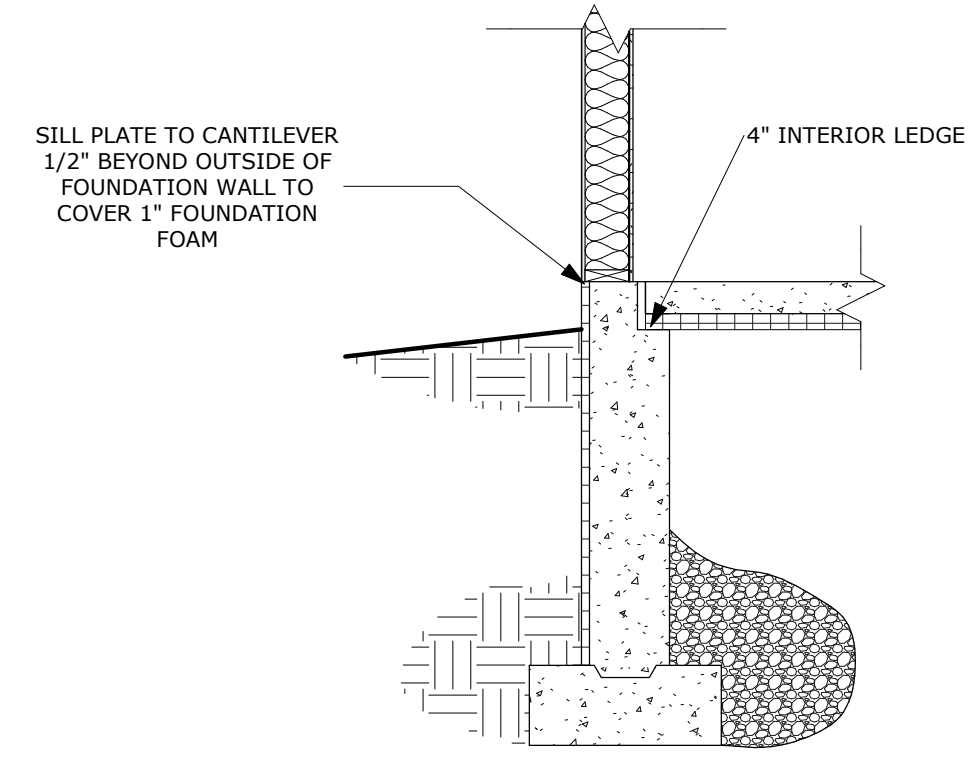
- FOUNDATION INFORMATION**
- **HOUSE FOUNDATION**
10" x 4'-0" POURED CONCRETE WALL
 - **GARAGE FOUNDATION**
6" x 4'-0" POURED CONCRETE WALL
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- **BASEMENT**
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 - **FIRST FLOOR**
4" CONCRETE SLAB
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DESIGNED FOR: ZONE 2
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30# TCDL, 10# TCDL, 10# BCDL
DEFLECTION: LL=L/240, TL=L/180
DURATION OF LOAD: 1.15%
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 - TOP OF WINDOW R.O.S.
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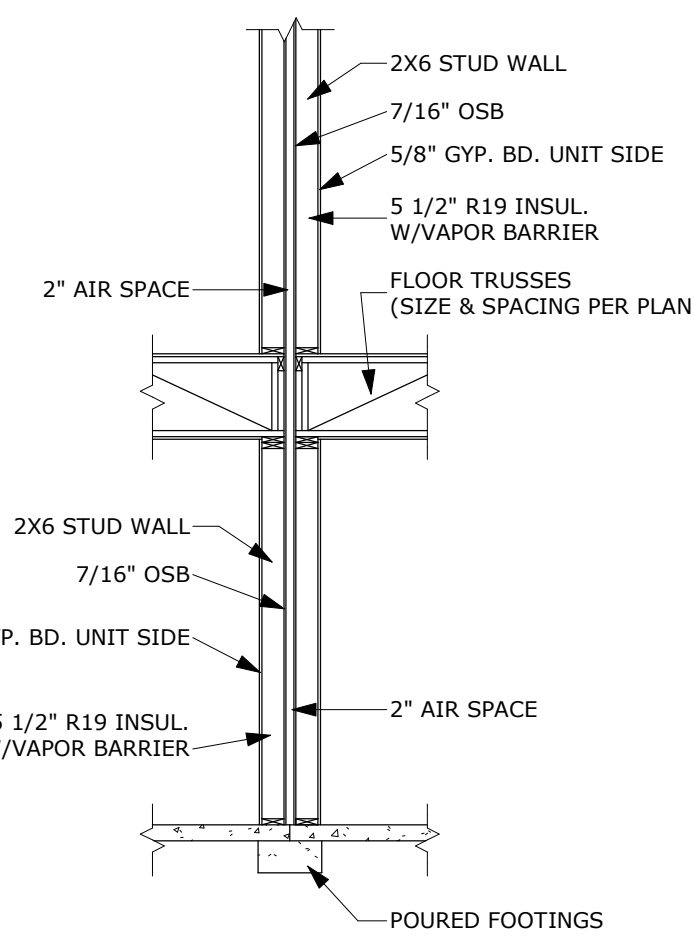
FOUNDATION PLAN
1/4" = 1'-0" WALL HEIGHT: 4'-0"



WALL SECTION
1/4" = 1'-0"



BOX SILL DETAIL
1/2" = 1'-0"



PARTY WALL DETAIL
1/4" = 1'-0"

SIDE "B" FIRST FLOOR AREA	758 SF
SIDE "B" SECOND FLOOR AREA	1155 SF
TOTAL AREA	1912 SF
SIDE "B" GARAGE FLOOR AREA	527 SF

SIDE "A" FIRST FLOOR AREA	770 SF
SIDE "A" SECOND FLOOR AREA	1112 SF
TOTAL AREA	1883 SF
SIDE "A" GARAGE FLOOR AREA	527 SF

DJE	07/19/2024
FINAL PLAN	

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CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

BLUE AT THE TRAIL UNIT #21, #15

FINAL PLAN

Drexel™ DrexelTeam.com

DESIGNER: D. EVERS
SCALE: As indicated
SHEET NO: A5
PROJECT NO: M24-307-W

KIMBERLY, WI

BRYAN KASTER